

**Rochester Joint Schools Construction Board  
Rochester School Modernization Program – Phase 1  
Amended Reasons to Support SEQRA Determination of Significance**

In March 2011, the Rochester Joint Schools Construction Board (RJSCB), as the duly-designated Lead Agency for the Rochester School Modernization Program – Phase 1 (“RSMP” or “Master Plan”) formally issued a Negative Declaration of Environmental Significance (“Negative Declaration”) for construction at twelve (12) schools within the Rochester City School District (Resolution 2010-11:38). This Negative Declaration included supporting documentation outlining specific reasons for supporting this determination and was based upon Concept Master Plans developed for each school.

Following the March 2011 SEQRA determination, RJSCB requested bonding for construction of six (6) schools designated in Phase 1A of the RSMP:

- Enrico Fermi School (#17)
- Henry Hudson School (#28)
- Helen Barrett Montgomery School (#50)
- World of Inquiry School (#58)
- Charlotte High School (#60)
- Franklin High School (#262)

In January 2012, RJSCB reviewed the final designs for the six Phase 1A schools to determine whether the final designs of the Phase 1A schools resulted in any significant adverse impacts not identified or evaluated in the original SEQRA process. In January 2012, RJSCB issued an amended SEQRA Determination supporting the original Negative Declaration with no significant adverse impacts identified based upon the final design documents (Resolution 2011-12:59).

RJSCB is now considering approval of bonding for the construction for the following Phase 1B schools:

- John Williams School (#5)
- East High School (#261)
- Edison Tech School (#270)

In addition, RJSCB is considering minor adjustments to the Phase 1A school designs as part of the Phase 1B project:

- Franklin High School (#262) (Internal Renovations only)
- Henry Hudson School (#28) (Lobby addition)

The Phase 1B project will also include continuing design work for Phase 1 schools Monroe High School, Jefferson High School and James Duffy School #12 as part of this

bonding. Bonding for construction at these schools will undergo SEQRA review to examine whether any significant program changes have been made and their effect to the original final SEQRA determination based upon their final designs.

The original environmental determination for construction of the Phase 1B was based on the concept designs and recommendations contained within the Master Plan. As such, any significant program changes may require an amendment to the SEQRA determination to ensure that any proposed program design modifications would not change RJSCB's original determination of environmental significance. This document provides the necessary review of the proposed construction of the Phase 1B schools.

Building Advisory Committees, (BACs) were formed for each of the Phase 1B schools. These BAC's were identified as a significant component of the design process to assess any potential environmentally significant design elements. Each design firm assigned to a Phase 1B school met with the BAC and other key school staff from their respective school to initiate the program verification phase. The BACs include representation from the RJSCB, the District, the school principal, City staff, school parents and community / neighborhood groups. In addition, each BAC also provides a vehicle for reviewing, discussing and providing recommendations for any changes or alterations to facility programming and design. Additional details and information regarding each school has been gathered as the design process advanced, resulting in several program changes from the original Master Plan designs. A listing of the meeting dates and the BAC members are included in this amendment in Appendix A.

The following pages present the final designs for the schools associated with the Phase 1B bonding identified above, identify changes from the original Master Plan design and provide an assessment of the environmental significance of the design change. For reference, the text from the original negative declaration supporting documentation is provided (where applicable and in *italics*) within each section for each school. Master Plan and Final design site plans, are included in Appendix B.

## **Impacts to Land**

Overall, there are no new significant adverse impacts to land resources beyond any of those identified in the original environmental review. All of the additions identified in the Phase 1B schools have incorporated landscaping and screening in their designs to minimize changes in the visual quality of the site. The specific changes for each school are identified below along with a discussion of any potential changes in environmental significance.

**School #5 (John Williams):** The parking expansion proposed as part of the Master Plan indicated 35-40 spaces which would be located on the west side of Verona Street on land that would need to be acquired from the City. Current school designs show that this parking expansion has been reduced to only 20-25 spaces, but still located on the west side of Verona Street. Although the parking expansion is located in the same area as it was in the Master Plan, one aspect that was not included during the Plan process

was any relocation of the baseball field immediately adjacent to the expanded parking. This was identified by the consulting architect as a result of the parking expansion. Overall, this element of work at the school was previously considered an insignificant impact. This would still be considered an insignificant impact as the amount of parking is reduced and the impact to the baseball field would amount to a slight relocation, but not a reduction in size or land use.

The Master Plan also identified a 1,000 square foot vestibule addition. The design drawings for the school show a 900 square foot loading dock addition on the rear (western) portion of the building within an existing alcove that was currently asphalt (facilities parking and utilities). This addition is smaller than was previously proposed in the Master Plan and will not have any significant environmental impacts that would alter the original SEQRA final determination.

School #28 (Henry Hudson) – Phase 1A school: Additional design work at School #28 shows a 275 square foot stair tower addition on the southwestern entrance to the school. This addition was added to the design drawings following Phase 1A review. Due to the size of the addition no significant environmental impacts are anticipated that would alter the final SEQRA determination.

School #261 (East High): The work initially proposed at East High consisted of exterior replacement of façade features and some reconstruction of site elements, such as the athletic fields, sidewalks, and parking lots. Design drawings still show all of this reconstruction and façade improvement work occurring, with few exceptions. An alternate for reconstruction of the athletic field indicates conversion from grass to an all-weather surface and subsequent underground drainage improvements. In addition, the replacement of the antenna, which was previously shown in the Master Plan, is not included in the scope of work in the design phase. A new 32 space parking lot has been shown along Culver Road east of the football field with access to Culver as an Alternate for the Project. This was not previously identified in the Master Plan and currently, consists of maintained grass. The conversion of the area to a parking lot would change the land from a pervious to impervious surface, and would require a curb cut for vehicle access. However, the land is currently owned by the School District with no land acquisitions required and the parking will not impact any existing land features above or underground. The relatively small size of the land upon which the parking lot has been designed limits the lot size to what has been currently designed. In addition, the street trees that border Culver Road on this area of land will remain, further buffering the lot from the roadway. No significant environmental impacts to land are anticipated as a result of this additional proposed work.

School #270 (Edison Tech): The only change identified in the design drawings for Edison Tech when compared to the proposed scope of work in the Master Plan is the removal of two tennis courts on the north side of the building. These courts will be replaced with sod – the other three tennis courts will remain. In addition, a small 1,000 square foot building addition has been identified on the south entrance within an existing alcove. The remaining work consists of replacement of exterior façade

elements and reconstruction of site features (i.e. sidewalk, parking repaving, etc.). As such, no significant environmental impacts are anticipated that would alter the final SEQRA determination.

## **Impacts on Water**

No surface water, groundwater or wetlands impacts were identified in the original environmental review. The original SEQRA indicated that an increase in impervious surfaces was expected, both from building additions and parking expansions, and that storm water management systems would be designed and constructed in accordance with City standards. Although there is a slight increase in stormwater management requirements, this was determined to be an insignificant change as the additions are not extensive. The same design and construction standards will be utilized to mitigate any potential stormwater impacts.

School #5 (John Williams): The reduction in parking spaces along Verona Street will result in less impervious surface as compared to the initially reviewed scope of work in the Master Plan. The remaining parking expansion will still be subject to City stormwater management as it was previously identified in the environmental review. This change will have a positive environmental impact and will not change the final SEQRA determination.

School #261 (East High): During the design phase, a small parking lot was identified along Culver Road as an alternate to the overall work at the school. The lot is approximately 11,000 square feet in size and will not require a stormwater pollution prevention plan. Existing drainage systems will be utilized and the remaining portion of the land area upon which the parking lot has been shown will consist of maintained lawn, providing pervious surface for additional stormwater drainage. The athletic field will be converted from turf to a synthetic surface, thereby creating additional impervious surface. As part of the field replacement, underground drainage improvements are being made to ensure that there is no new increase in stormwater runoff quantity or quantity as a result. For these reasons, no significant adverse environmental impacts are anticipated.

School #270 (Edison Tech): Edison High School was built in an area of significant fill materials. Significant environmental testing has been performed for the foundation repair/waterproofing work proposed for the school, with no significant environmental concerns identified within the proposed work zones. During construction, appropriate health and safety measures are included in the construction documents to address unforeseen environmental conditions should they be encountered.

## **Air Quality**

No significant changes to air quality impacts were identified in the final design phase for the Phase 1B schools that were not addressed in the Phase 1 review.



## **Plants/Animals (Threatened/Endangered Species)**

The original environmental review did not identify any impacts to any threatened or endangered species. None of the changes associated with the revised scope of work for each school have altered this determination.

## **Agricultural Land Resources**

The original environmental review did not identify any impacts to any agricultural resources. None of the changes associated with the revised scope of work at each school have changed this assessment.

## **Aesthetic Resources & Community Character**

As noted in the original SEQRA document, a significant portion of the Modernization Program work involves interior renovation that will not have any significant impact on exterior views of the schools. None of the schools identify land acquisitions or any other significant changes that would alter aesthetics or community character that were not previously identified in the Phase 1 environmental review.

## **Cultural, Historic and Archeological Resources**

None of the Phase 1B schools proposed for construction were previously identified in the original environmental review as National Register listed or eligible. Initial review by SHPO indicated that “additional design and construction details” would be required for further review by the agency for School #5 (Williams), #261 (East), as these schools were located in archeologically sensitive areas. Each design consultant has been in contact with a SHPO representative and has provided design and construction drawings to date. The work proposed in the Master Plan #270 (Edison) was identified by SHPO as having “No Impact”, with no change anticipated.

## **Open Space and Recreation**

The original SEQRA determination concluded:

*School #5 (John Williams): The proposed construction of parking spaces along Verona Street will minimally reduce lawn area along Verona Street. The parking spaces will be located along of the edge of the existing street. The minimal loss of existing lawn and a few small trees was deemed insignificant because it is offset by the addition of off-street parking for school employees and park users, which will increase the park space’s use and access.*

The location of the parking along the west side of Verona Street remains in the design drawings, but the number of spaces has been reduced from 35-40 to 20-25 spaces. These spaces are located immediately adjacent to the baseball field in Brown Square Park. As a result of the expansion, the baseball field would need to be relocated 20 feet

to the west. As shown in design drawings, the field would be replaced in-kind with no other recreational facilities impacted. In addition, an “age-appropriate” playground is identified as being constructed adjacent to the existing playground south of the baseball field. None of these changes would be considered significant adverse environmental impacts that would alter the SEQRA final determination.

School #261 (East High): The area along Culver Road that has the new parking lot as shown on current design drawings consists of maintained lawn. This area has no formal recreational features and is further separated from adjacent facilities by chain link fencing. The land itself is not separated from the sidewalk and adjacent roadway for the safety and security of any potential users and contained various underground utility facilities further making the area less likely to be utilized for any recreational uses.

The reconstruction of the athletic field was previously identified in the Master Plan; however, details on its replacement were not specified. Design documents indicate that the field will be converted from a turf to a synthetic surface, placing the facility out of commission during construction. Neither the additional parking nor the field replacement would be considered a significant adverse environmental impact that would alter the SEQRA final determination.

School #270 (Edison): The only work previously proposed at Edison Tech consisted of reconstruction of existing recreational facilities and amenities such as athletic fields, bleachers, and playground equipment. Current design drawings show the removal of the two western tennis courts on the north side of the building and their replacement with sod. Although two courts are being removed, three courts will remain and will provide sufficient facilities for the student population. No other recreational or open space facilities are impacted beyond these two courts. These changes would not be considered significant adverse environmental impacts that would alter the SEQRA final determination.

## **Critical Environmental Areas**

Areas zoned by the City of Rochester as Open Space (O-S) have been locally designated as critical environmental areas in Monroe County. Although several schools were located adjacent to these resources, #5 (John Williams) was the only Phase 1B school where there was any work proposed that would be directly within a critical environmental area. In this instance, the impact of the proposed work was determined to be insignificant.

The original SEQRA determination concluded:

*School #5 (John Williams): In Monroe County, critical environmental areas are located in places throughout the City of Rochester that are zoned as open space. School #5 is located adjacent to Brown Square Park, which is zoned as open space. The proposed scope of work includes the parking expansion which will take place on lawn area along*

*this area. As currently identified, this impact is insignificant as the parking would impact lawn area and not any dedicated recreational facilities in the park.*

As indicated above, design drawings show the parking expansion in the same location as it was proposed in the Master Plan, although now reduced by almost half. The reduction is a positive impact in that there will be less of an impact along Verona Street. Although the baseball field will need to be relocated 20 feet west to accommodate this parking expansion, there is no net impact as the field will be reconstructed in-kind with no other facilities in the Park affected. Therefore, the impact of the work identified in the design phase for School #5 will be insignificant.

## **Transportation/Traffic**

School #5 (John Williams): The acquisition and change in one-way direction of Verona Street for use as a dedicated bus loop by the School was previously identified in the SEQRA review. The only change from this is that the street will be open to the public after school hours, but only to park users. This minor change will not have any significant environmental impacts that would alter the original SEQRA final determination.

School #261 (East High): Design drawings for School #261 show a new curb cut along Culver Road between the existing football field and tennis courts. This curb cut is for a proposed 32-space parking lot identified as a design alternate. This was not contemplated in the original Master Plan and was developed as a result of discussions with the BAC and the RJSCB. Due to the location of the new parking facility, it would primarily be used as parking for athletic events or general use of the facilities; it is too far away to provide sufficient parking for staff and students during normal class times. In addition, the size of the lot limits the number of cars and therefore the number of turning movements and any additional volumes on Culver Road. These changes would not have any significant adverse environmental impact that would alter the SEQRA final determination.

## **Energy**

Energy supply and impacts were previously addressed in the original environmental review. Although some of the additions identified during the design phase for each of the school are slightly larger than the original review, the overall increase in energy needs for these additions was adequately addressed. No changes have been identified that would have any significant adverse environmental impacts that would alter the SEQRA final determination.

## **Noise and Odor Impact**

Noise and odor impacts were anticipated during the construction phase for each of the schools and were addressed in the original environmental review. No changes have

been proposed that would have any significant adverse environmental impacts that would alter the SEQRA final determination.

### **Public Controversy**

The Building Advisory Committees (BACs) that were established as part of the original SEQRA review were utilized during the final design phase for each of the schools. Each design consultant team met with their respective BAC several times to discuss designs and address any specific issues that arose that were relevant to their specific school. There have been no substantial issues or concerns brought forth during the meetings with the BACs that have not been adequately addressed through the design process. The design consultant teams will continue to work with and utilize the BAC's through construction phase at each of the schools to address any issues that may arise.

## **Appendix A**

### **Building Advisory Committee (BAC) Meetings & Attendees**



## **Building Advisory Committee (BAC) Meetings & Attendees \***

### **School #5 (John Williams) – Young + Wright Architectural**

#### BAC Meetings:

March 29, 2012  
May 16, 2012  
August 29, 2012  
October 30, 2012  
March 13, 2013

#### BAC Attendees:

Wayne Williams	(Gilbane/Savin)
Claude Watt	(Gilbane/Savin)
Tom Renauto	(RJSCB)
Todd Bruce	(RCSD Facilities)
Andrew Wheatcraft	(RCSD Facilities)
Peter Saxe	(City of Rochester)
Joanne Wideman	(School #5)
LoWan Brown	(School #5)
Alonzo Conley	(School #5)
Jocelyn Cox Hiler	(School #5)
Brian Gallagher	(School #5)
Jeanette Gilbert	(School #5)
Diane Leone	(School #5)
Debra Rath	(School #5)
Amy J. Simcick	(School #5)
Patricia Yildirim	(School #5)
Hindi Wade	(School #5)
Kelli Monique Briggs	(School #5)
Carmen Torres	(School #5)
Rishawn Sonubi	(Young + Wright Architectural)
Christina Weber	(Young + Wright Architectural)
Carolyn Lyons	(Young + Wright Architectural)

### **School #12 (James PB Duffy) – SEI Design Group**

#### BAC Meetings:

May 22, 2012  
June 19, 2012  
July 24, 2012

August 30, 2012  
October 9, 2012  
November 8, 2012  
December 6, 2012  
January 28, 2013  
February 25, 2013  
March 25, 2013

BAC Attendees:

Connie Izzo	(School #12)
Laurie Ayers	(School #12)
Mary Beth Ash-Jones	(School #12)
Wanda LeBron	(School #12)
Sandra Perez	(School #12)
Mark Lovett	(School #12)
Leslie Fowler	(School #12)
Mary Kay Lovell	(School #12)
Jill Miller	(School #12)
Michele	
Liguori-Alampi	(School #12)
Laurie Murty	(School #12)
Andy Wheatcraft	(RCSD Facilities)
Eric Hansen	(RCSD Facilities)
Sue Snyder	(RCSD Facilities)
Gail Perogine	(Gilbane/Savin)
Wayne Hermanson	(Gilbane/Savin)
Brie Harrison	(Rochester Public Library)
David Creek	(Rochester Public Library)
Victoria Robertson	(RCSD Parent)
Tony Jordan	(City Recreation)
Nancy Johns Price	(SENSC)
Kenel Antoine	(Kenel Antoine Architects)
Zack Bloomer	(Kenel Antoine Architects)
Victor Tomaselli	(SEI Design Group)
Ted Mountain	(SEI Design Group)
Jen Kelley	(SEI Design Group)
Kelly Wobser	(SEI Design Group)

**School #261 (East High School) – Cannon Design**

BAC Meetings:

February 10, 2012  
March 2, 2012  
September 27, 2012



March 21, 2013

BAC Attendees:

Tony Robinson	(East HS)
Margaret Crowley	(East HS)
Bryant Cromartie	(East HS)
Scott Kliewer	(East HS)
Teisha Maldonado	(East HS)
Jennifer Rees	(East HS)
Kyle Crandall	(East HS/Beechwood)
Anibal Soler, Jr.	(East HS)
Tom Murphy	(East HS)
Bryant Cromartie	(Rochester CSD)
Paul Conrow	(Rochester CSD / East)
Alecia McLaughlin	(Rochester CSD / East HS)
Kathie Mykins	(Rochester CSD / East HS)
Maycanitza Perez	(Rochester CSD / East HS)
Denise Quamina	(Rochester CSD / East HS)
Ben Rhodes	(Rochester CSD / East HS)
Christopher Smith	(Rochester CSD / East HS)
Lois Geiss	(JFMB)
Marilyn Schutte	(North Winton Village Neighborhood Association)
Mary Coffy	(North Winton Village Neighborhood Association)
Bob DiPaola	(Gilbane / Savin)
Wayne Hermanson	(Gilbane / Savin)
Tom Renauto	(RJSCB)
Terry Costich	(RCSD)
Eric Hansen	(RCSD)
Nancy Johns Price	(City of Rochester)
Migdalia Mendez	(City of Rochester Recreation)
Peter Siegrist	(City of Rochester Architect)
Bill Mahoney	(LP Ciminelli, Inc)
Deborah Pease	(Cannon Design)
Richard Little	(Cannon Design)
Roland Coleman	(Cannon Design)

**School #270 (Edison Tech) – LaBella Associates**

BAC Meetings:

March 1, 2012  
April 5, 2012  
April 11, 2013

BAC Attendees:

Bonnie Atkins	(Principal)
Pete Torchia	(Head Custodian)
Ed Mascardi	(AP of Operations)
David Grant	(Robert Brown HS Principal)
Richard Amico	(Robert Brown Teacher and RTA representative)
Kathleen Denaro	(STEM High School Principal)
Molly Schleigh	(STEM High School NAF Coordinator)
Richard DellaCosta	(STEM High School, AOIT, English & Media)
Kimberly Tookes	(STEM High School, AOHS, Science)
Al Casey	(STEM High School, President ME Engineers)
Dr. Douglas Merrill	(STEM High School, RIT)
Safiya Hussein	(STEM High School)
Shannon Alvarado	(WEP representative)
Peter Saxe	(City of Rochester)
Janet Russell	(Community representative)
Luis Aponte	(Community representative)
Kevin Halat	(Community representative)
Thomas Rog�r	(RSMP Program Director)
Pepin Accilien	(Gilbane/Savin, RSMP Program Manager)
Wayne Williams	(Gilbane/Savin, Program Manager)
Todd Bruce	(RCSD Facilities)
Terry Costich	(RCSD Facilities)
Andy Wheatcraft	(RCSD Facilities)
Bev Gushue	(CTE Director)
Shirley Green	(S.E., TRACE)
Stephanie Thompson	(S.E.)
Tom Renauto	(RJSCB)
Michael Short	(LaBella Associates)
Marielle Santoriello	(LaBella Associates)

**School #263 (Jefferson High School)**

No work proposed at Jefferson High School in Phase 1B.

**School #266 (Monroe High School) – CJS Architects**

BAC Meetings:

August 16, 2012  
November 1, 2012  
December 6, 2012

BAC Attendees:

Claude Watt	(Gilbane/Savin)
Gail Perogine	(Gilbane/Savin)
Michael Ellison	(CJS Architects)
Craig Jensen	(CJS Architects)
Armando Ramirez	(Principal, Monroe HS)
Anthony Bianchi	(Assistant Principal, Monroe HS)
Susen hart	(Assistant Principal, Monroe HS)
Dan Strassner	(Head Custodian, Monroe HS)
Nydia	
Padilla-Rodriguez	(RCSD Director of Strategic Partnership)
Angel Alicia	(Parent Representative)
Eric Hansen	(RCSD Facilities)
Todd Bruce	(RCSD Facilities)
Nancy Johns-Price	(City of Rochester, SE Quadrant)
Allan Richards	(Wadsworth Square Neighborhood Association)
Brenda Pacheco	(Principal, SOTA)

*\* The meetings and attendees listed above may include meetings that were scheduled but did not take place (e.g. scheduling conflicts, etc.) and/or attendees that may not have attended all meetings. Information was provided by each design consultant team.*

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## **Appendix B**

### **Facility Addition Comparison (Master Plan & Proposed Design)**



## SEQRA Comparison

Rochester Joint Schools Construction Board

<b>School</b>	<b>Williams/#5</b>	<b>East/#261</b>	<b>Edison/#270</b>	<b>Hudson/#28 (2)</b>
<b>Consultant</b>	<b>Young &amp; Wright</b>	<b>Cannon</b>	<b>LaBella</b>	<b>LaBella</b>
<b>Existing Building Area (1)</b>	124,924	418,536	464,519	85,050
<b>Addition Area</b>				
Master Plan	1,000	0	0	15,260
Design	900	0	0	8,100
<i>Difference</i>	-100	0	0	-7,160
<b>Existing Footprint</b>				49,200
<b>Footprint Addition</b>				
Master Plan	1,000	0	0	7,630
Design	900	0	0	4,325
<i>Difference</i>	-100	0	0	-3,305

(1) Existing bldg area per RSMP.

(2) Phase 1A school - figures are originally from Phase 1A review and have been updated accordingly.

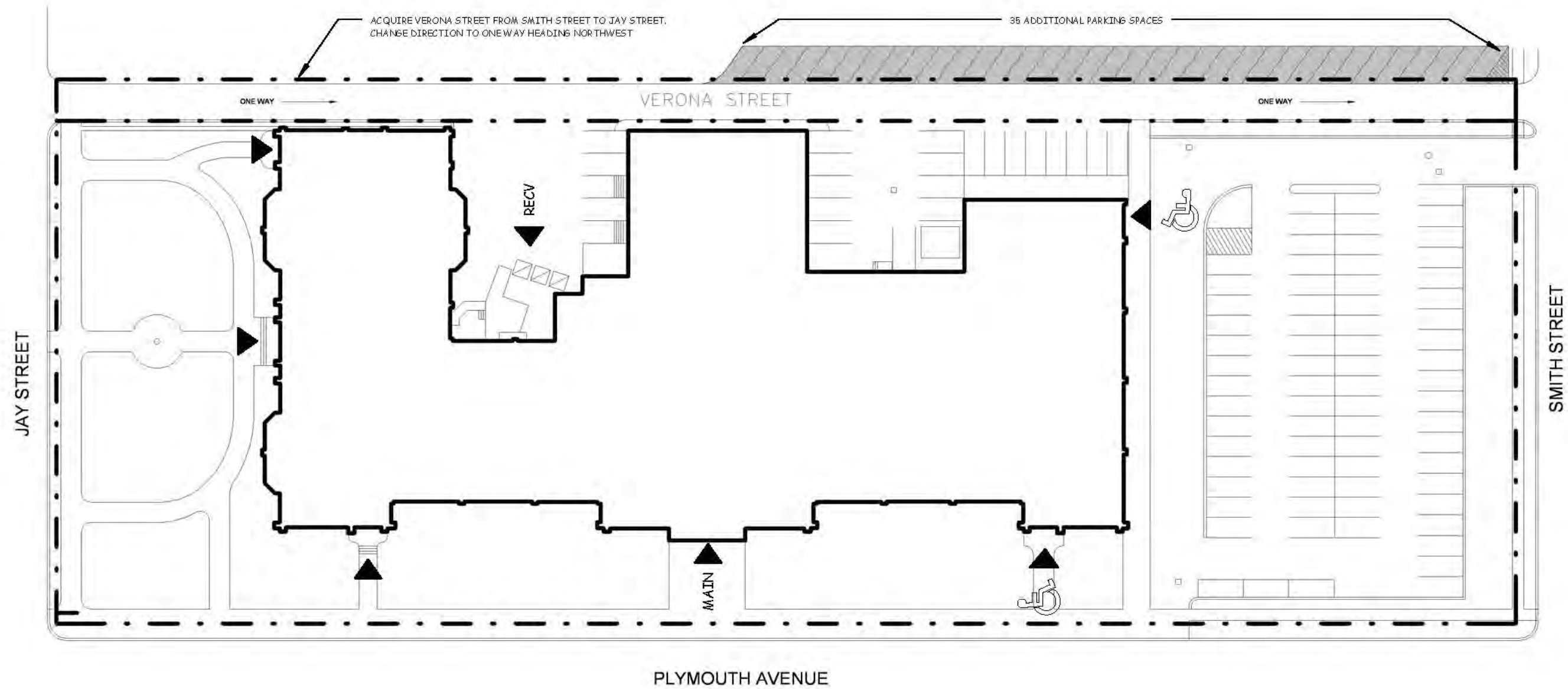




**Appendix C**  
**School Site Plans**



SWBR PROJECT NUMBER: 10445.00



PLYMOUTH AVENUE

PROPOSED SITE PLAN



Program Concept Test:  
John H. Williams #5  
555 N. Plymouth Ave.  
Model Program: 3 Strand (PreK-8)







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JOHN WILLIAMS SCHOOL NO. 5

555 PLYMOUTH AVENUE N.  
 ROCHESTER NY 14608

SCHOOL 5 CONSTRUCTION: 26-16-00-01-0-005-025  
 SCHOOL 5 EPC: 26-16-00-01-0005-026  
 SCHOOL 5 DWT 1b: 2616-00-01-7-999-013

ROCHESTER SCHOOLS  
 MODERNIZATION  
 PROGRAM



YOUNG + WRIGHT PROJECT NUMBER  
 11068

NO.	DATE	REVISION
SD	8/15/12	SCHEMATIC DESIGN SUBMISSION
DD	11/19/12	DESIGN DEVELOPMENT SUBMISSION
SED	01/22/13	100% CD/SED SUBMISSION

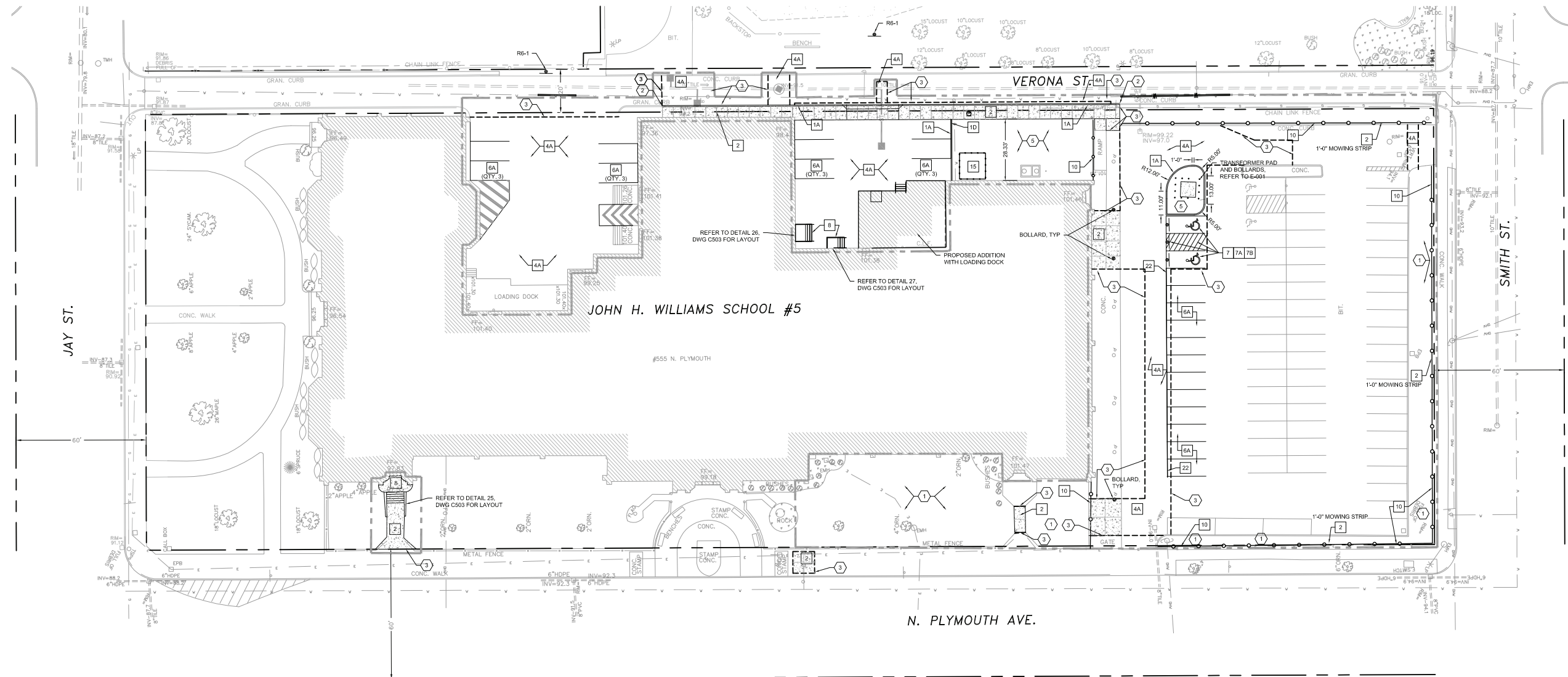
NO.	DATE	REVISION

DRAWN BY: SMB  
 APPROVED BY: MBP

ISSUED FOR:  
 DATE:

SITE PLAN

C111



- GENERAL SITE WORK NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE ARCHITECT AND SCHOOL DISTRICT FACILITIES.
  - THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, BOTH PEDESTRIAN AND VEHICULAR, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC ALONG AND ADJACENT TO THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER.
  - THE CONTRACTOR SHALL MAINTAIN SERVICE OF ALL EXISTING SITE UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISRUPTION OF UTILITY SERVICE AND DAMAGE TO EXISTING SITE FEATURES, INCLUDING UNDERGROUND UTILITIES, RESULTING FROM THEIR OPERATIONS IN EXECUTION OF THE WORK.
  - REFERENCES TO N.Y.S.D.O.T. STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, OFFICE OF ENGINEERING, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, MAY 8, 2010" WITH ALL CURRENT ADDENDA.
- SITE LAYOUT NOTES:**
- ALL SITE LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS FOR SITE LAYOUT SHALL BE INCLUDED IN THE CONTRACT PRICE.
  - ALL SITE LAYOUT SHALL BE IN ACCORDANCE WITH THE PLANS. THE CONTRACTOR SHALL VERIFY ALL GRADES, ELEVATIONS AND DIMENSIONS IN THE FIELD. ANY DISCREPANCIES AND/OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT AND ENGINEER FOR RESOLUTION PRIOR TO CONTINUING WITH THE AFFECTED WORK.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS INDICATED OTHERWISE.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (BY OTHERS) FOR LOCATIONS AND BUILDING DIMENSIONS.
  - BUILDING DIMENSIONS AS SHOWN ARE NOT INTENDED FOR ACTUAL BUILDING LAYOUT. SPECIFIC LAYOUT DIMENSIONS SHOULD UTILIZE THE ACTUAL BUILDING PLANS. ANY DISCREPANCIES BETWEEN BUILDING PLANS AND THOSE INDICATED ON THESE PLANS SHOULD BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHOULD STAKE OUT AND VERIFY EACH OF THE DIMENSIONS INDICATED PRIOR TO COMMENCEMENT OF WORK.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS INDICATED OTHERWISE.
  - ALL NEW SIDEWALKS WIDTHS AS SHOWN ARE EXCLUSIVE OF INTEGRAL CURB UNLESS NOTED OTHERWISE. SIDEWALK LOCATIONS TO BE COORDINATED WITH BUILDING ENTRANCES ON ARCHITECTURAL PLANS.
  - GRANITE CURB UNDERDRAIN SHALL BE CONNECTED INTO EXISTING CURB UNDERDRAIN SYSTEM OR STORM DRAINAGE STRUCTURES.
  - MANHOLE COVERS, DRAINAGE STRUCTURE FRAME AND GRATES, VALVE COVERS, UTILITY ACCESS LIDS SHALL BE RESET FLUSH WITH PAVEMENT FINISHED GRADES.

- PAVING NOTES:**
- SPICES TO EXISTING ASPHALT PAVEMENT SHALL BE MADE WITH A VERTICAL FACE SAW CUT AT THE EXISTING EDGE OF PAVEMENT. THE SPLICE FACE AND TRANSITION AREA SHALL BE CLEANED AND TACK-COATED PRIOR TO THE PLACEMENT OF THE NEW PAVEMENT. THE TRANSITION TO EXISTING PAVEMENT SHALL BE MADE BY FEATHERING OUT THE TOP COURSE FOR A MINIMUM LENGTH OF 3 FEET PER INCH OF TOP COURSE THICKNESS.
  - EXISTING PAVEMENT AND PARKING LOT MARKINGS/STRIPES SHALL BE REPLACED IN KIND PRIOR TO THE COMPLETION OF CONSTRUCTION.

ILLUSTRATION	REFERENCE	SIZE
	R1-1	30x30
	R5-1	30x30
	R5-1a	36x24

ILLUSTRATION	REFERENCE	SIZE
	R6-1	36x12
	R7-1	12x18
	W11-2	30x30
	W15-1	30x30

**DETAILS KEY (C501, C502, & C503)**

1A	GRANITE CURB
1C	GRANITE CURB (HEADER)
1D	SLOPING CURB REVEAL
2	CONCRETE SIDEWALK
2A	ASPHALT SIDEWALK
3	REINFORCED CONCRETE PAVEMENT
4A	ASPHALT PAVEMENT SECTION
6A	90° PARKING STALL LAYOUT
6B	45° PARKING STALL LAYOUT
7	HANDICAP PAVEMENT MARKINGS
7A	INTERNATIONAL HANDICAP SYMBOL
7B	HANDICAP PARKING SIGN
8	LANDING & STAIR ASSEMBLY
9	CROSSWALK PAVEMENT STRIPING
9A	SIDEWALK CURB RAMP
10	DECORATIVE METAL FENCE
11	STOP BAR & SIGN
12	FIXED GUARD BOLLARD
13	ROADWAY RESTORATION
14	RAISED ASPHALT WALKWAY
15	GAS METER ENCLOSURE
16	CONCRETE RETAINING WALL
17	CONCRETE SEAT WALL
18	PARK BENCH
19	PERMANENT 15'-0" BASEBALL PLAYER BENCH
20	CHAIN LINK BACKSTOP W/ HOODS & WINGS
21	8'-0" HIGH CHAIN LINK FENCE
22	PARKING GUARDRAIL (MATCH EXISTING)
23	PROPOSED PLAYGROUND EQUIPMENT
24	RESILIENT SURFACE

**SIGN SCHEDULE**

ILLUSTRATION	REFERENCE	SIZE
	SP11-2	30x30

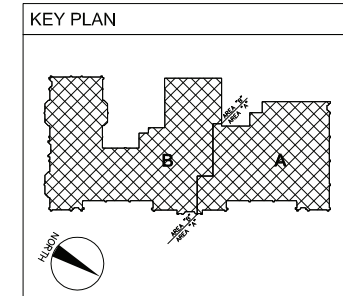
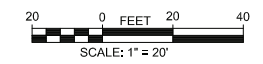
**ANNOTATION KEY**

1	TOPSOIL & SEED
2	MATCH EXISTING CURB AT SAWCUT
3	MATCH EXISTING CONC. OR PAVEMENT AT SAWCUT
4	MARCO CLAY INFILL MIX SAND
5	SOD

**LEGEND**

	CONTRACT LIMIT LINE
	PROPOSED SAWCUT
	SANITARY MANHOLE
	CATCH BASIN
	STORM MANHOLE
	STORM SEWER
	SANITARY SEWER
	WATER LINE
	UG ELEC. LINE
	UG GAS LINE
	UG COMMUNICATION LINE
	FENCE

**SITE PLAN**  
 SCALE: 1" = 20' C111





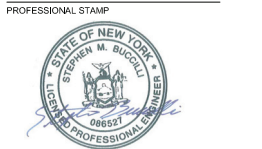


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Rochester, NY 14607  
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Every child is a work of art.  
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**JOHN WILLIAMS SCHOOL NO. 5**

555 PLYMOUTH AVENUE N.  
ROCHESTER NY 14608

SCHOOL 5 CONSTRUCTION: 26-16-00-01-G-005-025  
SCHOOL 5 EPC: 26-16-00-01-005-026  
SCHOOL 5 DWT 1b: 2616-00-01-7-999-013

**ROCHESTER SCHOOLS  
MODERNIZATION  
PROGRAM**



YOUNG + WRIGHT PROJECT NUMBER  
**11068**

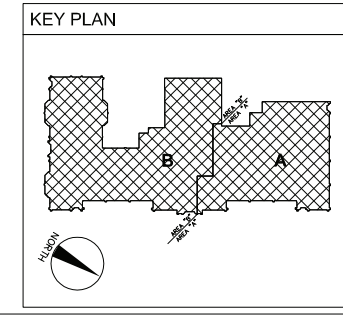
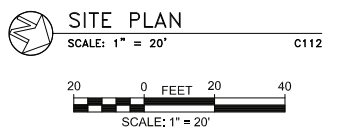
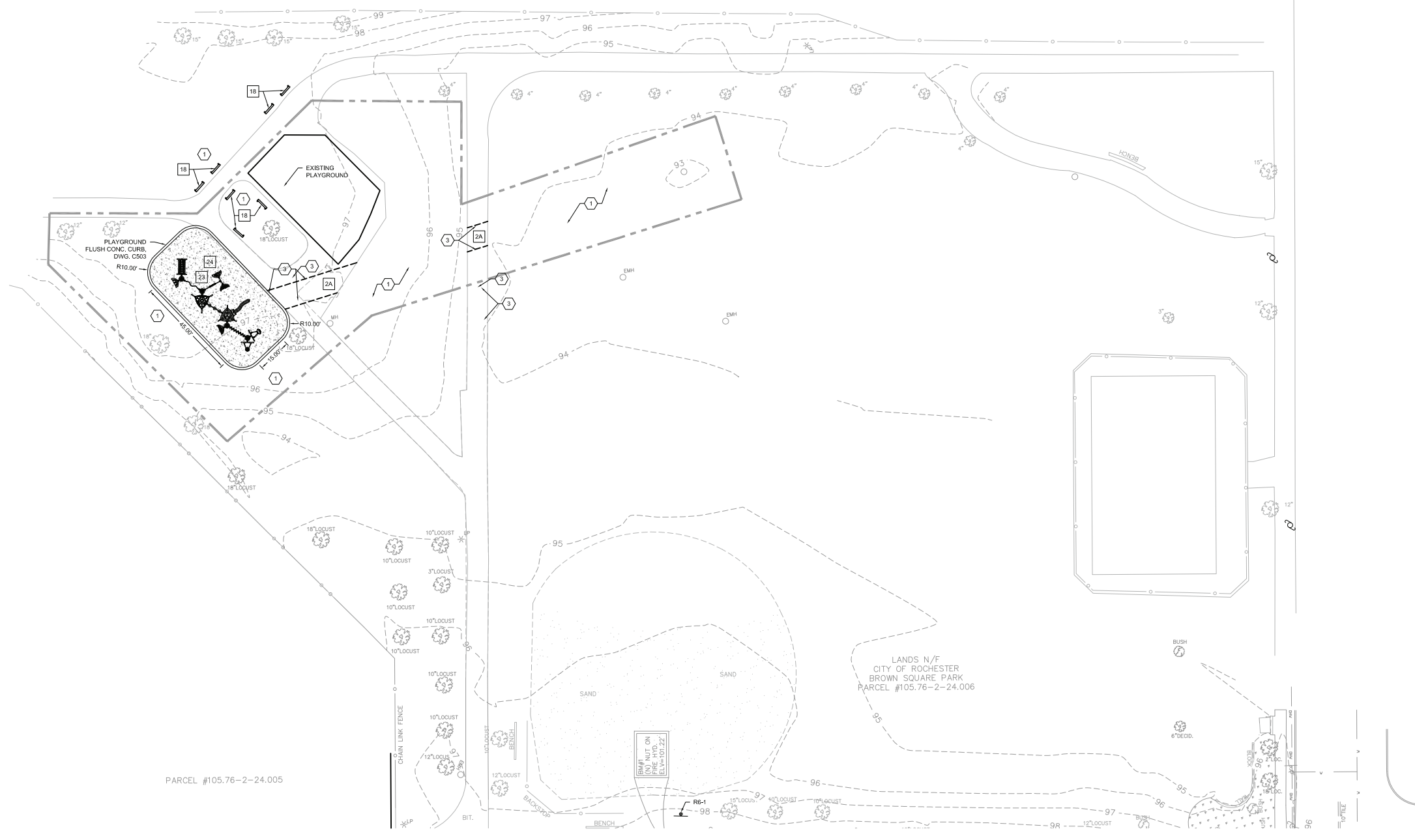
NO.	DATE	REVISION
SD	8/15/12	SCHEMATIC DESIGN SUBMISSION
DD	11/19/12	DESIGN DEVELOPMENT SUBMISSION
SED	01/22/13	100% CD/SED SUBMISSION

DRAWN BY: SMB  
APPROVED BY: MBP  
ISSUED FOR:

DATE:

**SITE PLAN**

**C112**



X DETAILS KEY (C501, C502 & C503)	
1A	GRANITE CURB
1C	GRANITE CURB (HEADER)
1D	SLOPING CURB REVEAL
2	CONCRETE SIDEWALK
2A	ASPHALT SIDEWALK
3	REINFORCED CONCRETE PAVEMENT
4A	ASPHALT PAVEMENT SECTION
6A	90° PARKING STALL LAYOUT
6B	45° PARKING STALL LAYOUT
7	HANDICAP PAVEMENT MARKINGS
7A	INTERNATIONAL HANDICAP SYMBOL
7B	HANDICAP PARKING SIGN
8	LANDING & STAIR ASSEMBLY
9	CROSSWALK PAVEMENT STRIPING
9A	SIDEWALK CURB RAMP
10	DECORATIVE METAL FENCE
11	STOP BAR & SIGN
12	FIXED GUARD BOLLARD
13	ROADWAY RESTORATION
14	RAISED ASPHALT WALKWAY
15	GAS METER ENCLOSURE
16	CONCRETE RETAINING WALL
17	CONCRETE SEAT WALL
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20	CHAIN LINK BACKSTOP W/ HOODS & WINGS
21	8'-0" HIGH CHAIN LINK FENCE
22	PARKING GUARDRAIL (MATCH EXISTING)
23	PROPOSED PLAYGROUND EQUIPMENT
24	RESILIENT SURFACE

X ANNOTATION KEY	
1	TOPSOIL & SEED
2	MATCH EXISTING CURB AT SAWCUT
3	MATCH EXISTING CONC. OR PAVEMENT AT SAWCUT
4	MARCO CLAY INFILL MIX SAND
5	SOD

- GENERAL SITE WORK NOTES:  
1. REFER TO DRAWING C111 FOR PROJECT NOTES.
- SITE LAYOUT NOTES:  
1. REFER TO DRAWING C111 FOR PROJECT NOTES.
- PAVING NOTES:  
1. REFER TO DRAWING C111 FOR PROJECT NOTES.
- SIGN SCHEDULE:  
1. REFER TO DRAWING C111 FOR SIGN SCHEDULE.

LEGEND	
---	CONTRACT LIMIT LINE
---	PROPOSED SAWCUT
⊙	SANITARY MANHOLE
⊙	CATCH BASIN
⊙	STORM MANHOLE
⊙	STORM SEWER
⊙	SANITARY SEWER
—	WATER LINE
---	UG ELEC. LINE
---	UG GAS LINE
---	UG COMMUNICATION LINE
---	FENCE







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 fax: (585) 482-0440  
 www.jensenbrv.com



**JOHN WILLIAMS SCHOOL NO. 5**

555 PLYMOUTH AVENUE N.  
 ROCHESTER NY 14608  
 SCHOOL 5 CONSTRUCTION: 26-16-00-01-0-005-025  
 SCHOOL 5 EPC: 26-16-00-01-0005-026  
 SCHOOL 5 DWG 1b: 2616-00-01-7-999-013

**ROCHESTER SCHOOLS  
 MODERNIZATION  
 PROGRAM**



YOUNG + WRIGHT PROJECT NUMBER  
 11068

NO.	DATE	REVISION
SD	8/15/12	SCHEMATIC DESIGN SUBMISSION
DD	11/19/12	DESIGN DEVELOPMENT SUBMISSION
SED	01/22/13	100% CD/SD SUBMISSION

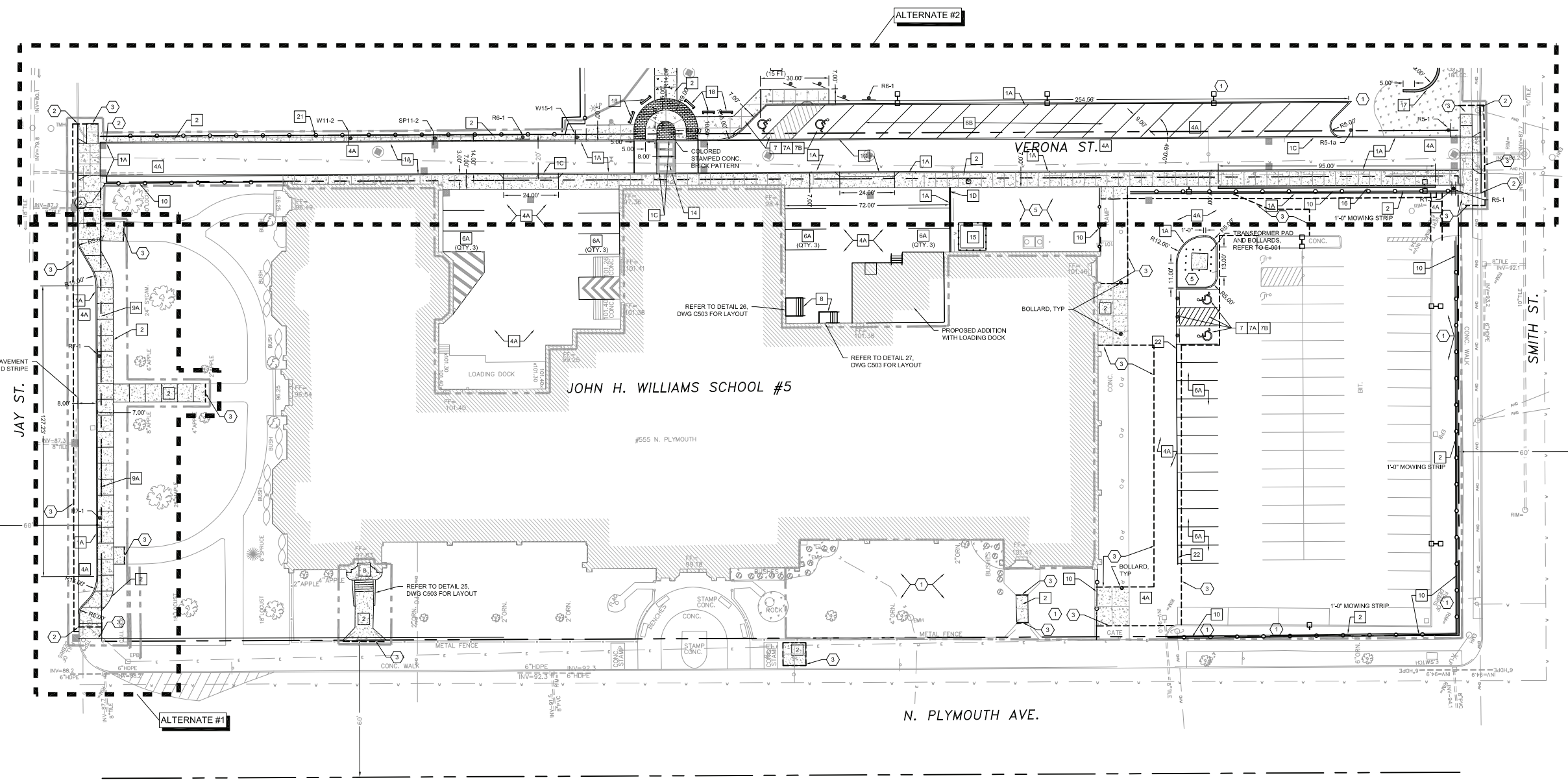
NO.	DATE	REVISION

DRAWN BY: SMB  
 APPROVED BY: MBP

ISSUED FOR:  
 DATE:

SITE ALTERNATE PLAN

**C113**



**GENERAL SITE WORK NOTES:**  
 1. REFER TO DRAWING C111 FOR PROJECT NOTES.

**SITE LAYOUT NOTES:**  
 1. REFER TO DRAWING C111 FOR PROJECT NOTES.

**PAVING NOTES:**  
 1. REFER TO DRAWING C111 FOR PROJECT NOTES.

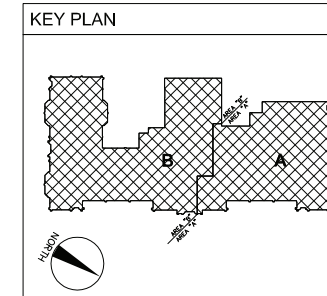
**SIGN SCHEDULE:**  
 1. REFER TO DRAWING C111 FOR SIGN SCHEDULE.

- |   |  |
|---|--|
| <b>[X]</b> DETAILS KEY (C501, C502, & C503) | 11 STOP BAR & SIGN                         |
| 1A GRANITE CURB                             | 12 FIXED GUARD BOLLARD                     |
| 1C GRANITE CURB (HEADER)                    | 13 ROADWAY RESTORATION                     |
| 1D SLOPING CURB REVEAL                      | 14 RAISED ASPHALT WALKWAY                  |
| 2 CONCRETE SIDEWALK                         | 15 GAS METER ENCLOSURE                     |
| 2A ASPHALT SIDEWALK                         | 16 CONCRETE RETAINING WALL                 |
| 3 REINFORCED CONCRETE PAVEMENT              | 17 CONCRETE SEAT WALL                      |
| 4A ASPHALT PAVEMENT SECTION                 | 18 PARK BENCH                              |
| 6A 90° PARKING STALL LAYOUT                 | 19 PERMANENT 15'x40' BASEBALL PLAYER BENCH |
| 6B 45° PARKING STALL LAYOUT                 | 20 CHAIN LINK BACKSTOP W/ HOODS & WINGS    |
| 7 HANDICAP PAVEMENT MARKINGS                | 21 8'-0" HIGH CHAIN LINK FENCE             |
| 7A INTERNATIONAL HANDICAP SYMBOL            | 22 PARKING GUARDRAIL (MATCH EXISTING)      |
| 7B HANDICAP PARKING SIGN                    | 23 PROPOSED PLAYGROUND EQUIPMENT           |
| 8 LANDING & STAIR ASSEMBLY                  | 24 RESILIENT SURFACE                       |
| 9 CROSSWALK PAVEMENT STRIPING               |  |
| 9A SIDEWALK CURB RAMP                       |  |
| 10 DECORATIVE METAL FENCE                   |  |

- [X]** ANNOTATION KEY
- TOPSOIL & SEED
  - MATCH EXISTING CURB AT SAWCUT
  - MATCH EXISTING CONC. OR PAVEMENT AT SAWCUT
  - MARCO CLAY INFIELD MIX SAND
  - SOD

- LEGEND**
- CONTRACT LIMIT LINE
  - - - - - PROPOSED SAWCUT
  - SANITARY MANHOLE
  - CATCH BASIN
  - STORM MANHOLE
  - STORM SEWER
  - SANITARY SEWER
  - WATER LINE
  - U/G ELEC. LINE
  - U/G GAS LINE
  - U/G COMMUNICATION LINE
  - FENCE

**SITE ALTERNATE PLAN**  
 SCALE: 1" = 20' C113







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PROFESSIONAL STAMP



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ROCHESTER SCHOOLS  
 MODERNIZATION  
 PROGRAM



YOUNG + WRIGHT PROJECT NUMBER  
 11068

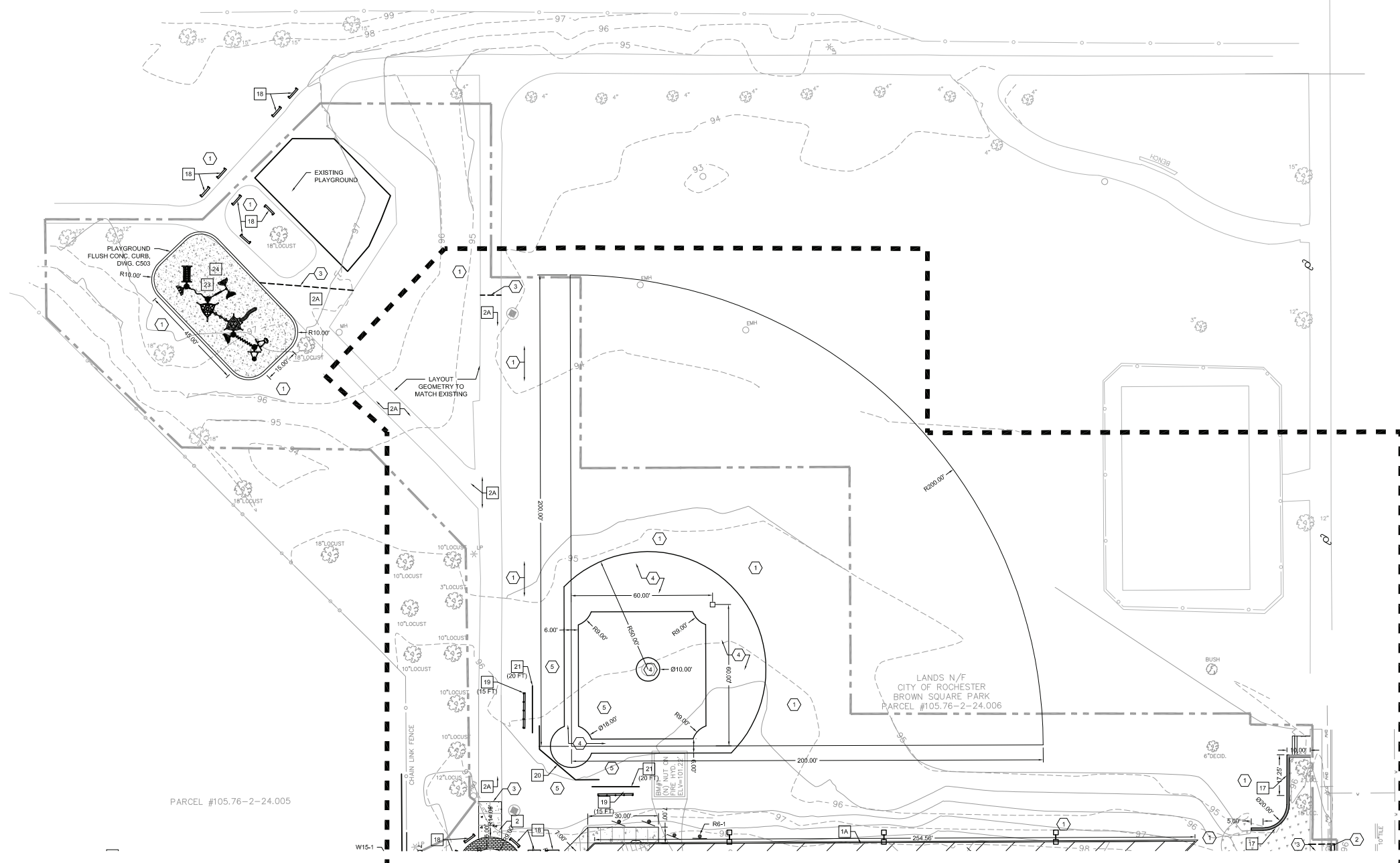
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DD	11/19/12	DESIGN DEVELOPMENT SUBMISSION
SED	01/22/13	100% CD/SD SUBMISSION

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 APPROVED BY: MBP  
 ISSUED FOR:

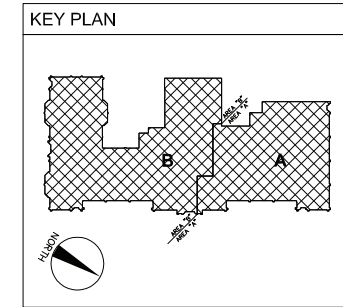
DATE:

SITE ALTERNATE  
 PLAN

C114



SITE ALTERNATE PLAN  
 SCALE: 1" = 20'  
 C114



ALTERNATE #2

- DETAILS KEY (C501, C502 & C503)**
- 1A GRANITE CURB
  - 1C GRANITE CURB (HEADER)
  - 1D SLOPING CURB REVEAL
  - 2 CONCRETE SIDEWALK
  - 2A ASPHALT SIDEWALK
  - 3 REINFORCED CONCRETE PAVEMENT
  - 4A ASPHALT PAVEMENT SECTION
  - 6A 90° PARKING STALL LAYOUT
  - 6B 45° PARKING STALL LAYOUT
  - 7 HANDICAP PAVEMENT MARKINGS
  - 7A INTERNATIONAL HANDICAP SYMBOL
  - 7B HANDICAP PARKING SIGN
  - 8 LANDING & STAIR ASSEMBLY
  - 9 CROSSWALK PAVEMENT STRIPING
  - 9A SIDEWALK CURB RAMP
  - 10 DECORATIVE METAL FENCE
  - 11 STOP BAR & SIGN
  - 12 FIXED GUARD BOLLARD
  - 13 ROADWAY RESTORATION
  - 14 RAISED ASPHALT WALKWAY
  - 15 GAS METER ENCLOSURE
  - 16 CONCRETE RETAINING WALL
  - 17 CONCRETE SEAT WALL
  - 18 PARK BENCH
  - 19 PERMANENT 15'-0" BASEBALL PLAYER BENCH
  - 20 CHAIN LINK BACKSTOP W/ HOODS & WINGS
  - 21 8'-0" HIGH CHAIN LINK FENCE
  - 22 PARKING GUARDRAIL (MATCH EXISTING)
  - 23 PROPOSED PLAYGROUND EQUIPMENT
  - 24 RESILIENT SURFACE

- ANNOTATION KEY**
- 1 TOPSOIL & SEED
  - 2 MATCH EXISTING CURB AT SAWCUT
  - 3 MATCH EXISTING CONC. OR PAVEMENT AT SAWCUT
  - 4 MARCO CLAY INFIELD MIX SAND
  - 5 SOD
- LEGEND**
- CONTRACT LIMIT LINE
  - - - PROPOSED SAWCUT
  - ⊕ SANITARY MANHOLE
  - ⊕ CATCH BASIN
  - ⊕ STORM MANHOLE
  - SANITARY SEWER
  - SANITARY SEWER
  - WATER LINE
  - UG ELEC. LINE
  - UG GAS LINE
  - UG COMMUNICATION LINE
  - FENCE

- GENERAL SITE WORK NOTES:**
- REFER TO DRAWING C111 FOR PROJECT NOTES.
- SITE LAYOUT NOTES:**
- REFER TO DRAWING C111 FOR PROJECT NOTES.
- PAVING NOTES:**
- REFER TO DRAWING C111 FOR PROJECT NOTES.
- SIGN SCHEDULE:**
- REFER TO DRAWING C111 FOR SIGN SCHEDULE.





# ROCHESTER CITY SCHOOL DISTRICT Facilities Modernization Program - Master Plan

2010 Master Plan

SWBR PROJECT NUMBER: 10445.00

New York State GIS Clearinghouse



## SITE CONTEXT

	Existing Bus Loop	Proposed Bus Loop
Buses	Yes	Reconfigure Existing Paved Area for Bus Loop

	Existing Total Parking Spaces - paved and striped	Proposed Parking Spaces	Total Parking Spaces
Parking	78	109	127

	Proposed Property Acquisition
	Alternative - Aquire Adjacent Property for Parking Expansion

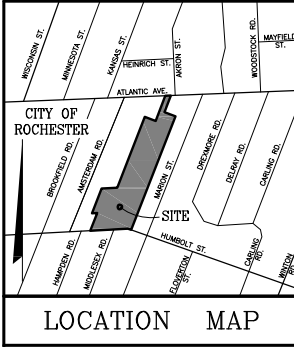


Program Concept Test:  
Henry Hudson #28  
450 Humboldt Street  
Model Program: 3 Strand (K-8)

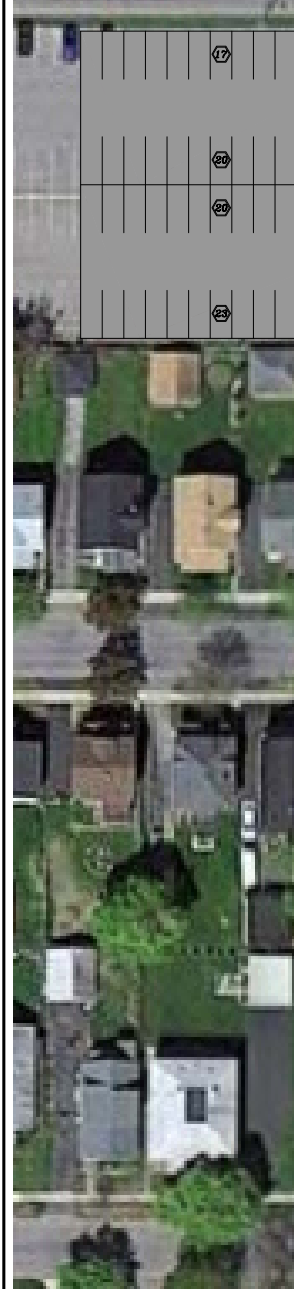
HENRY HUDSON #28







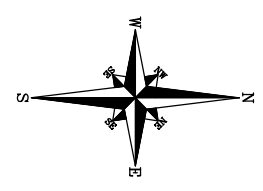
LOCATION MAP



PARKING TABLE	
EXISTING CAR PARKING SPACES	56
PROPOSED CAR PARKING SPACES	0
PROPOSED "CARLSON LOT" SPACES	80
TOTAL CAR PARKING SPACES	136
STANDARD LENGTH BUS PARKING SPACES	20
SHORTENED LENGTH BUS PARKING SPACES	6
TOTAL BUS PARKING SPACES	26



**ORIGINAL DESIGN  
DRAWING FROM  
PHASE 1A REVIEW**



PROJECT		CONCEPT # 2	
PROJECT		SCHOOL # 28	
CLIENT		CITY OF ROCHESTER COUNTY OF MONROE STATE OF NEW YORK	
LOCATION		450 HUMBOLDT STREET ROCHESTER, NY	
CLIENT		CITY OF ROCHESTER SCHOOL # 28	
ARCHITECTURE		Razak Associates	
ENGINEERING		ARCHITECTURE	
LAND SURVEYING		ENGINEERING	
INTERIORS		LAND SURVEYING	
PLANNING		INTERIORS	
LANDSCAPE		PLANNING	
2000 FAIRPOINT-NINE MILE POINT ROAD, SUITE 410		PENFIELD, NY 14520	
PHONE: 585.377.3550		FAX: 585.377.3550	
NEW YORK STATE		LICENSED PROFESSIONAL	
DATE		BY	
REVISIONS		DATE	
NO		BY	
9		BY	
8		DATE	
7		REVISIONS	
6		NO	
5		BY	
4		DATE	
3		REVISIONS	
2		NO	
1		BY	
0		DATE	
GRAPHIC SCALE: 1" = 30'		1" = 30'	
DATE: JUNE 12, 2011		DATE: JUNE 12, 2011	
SHEET: 1 of 1		SHEET: 1 of 1	
PROJECT NO. 11-0140		PROJECT NO. 11-0140	
FILE NAME: 11-0140 BASE PLAN.dwg		FILE NAME: 11-0140 BASE PLAN.dwg	
DRAWN BY: SCP		DRAWN BY: SCP	
CHECKED BY: R/J		CHECKED BY: R/J	
SCALE: 1" = 30'		SCALE: 1" = 30'	
DATE: JUNE 12, 2011		DATE: JUNE 12, 2011	
SHEET: 1 of 1		SHEET: 1 of 1	
PROJECT NO. 11-0140		PROJECT NO. 11-0140	
FILE NAME: 11-0140 BASE PLAN.dwg		FILE NAME: 11-0140 BASE PLAN.dwg	
DRAWN BY: SCP		DRAWN BY: SCP	
CHECKED BY: R/J		CHECKED BY: R/J	

**DRAWING ALTERATION NOTICE**  
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW  
"ARTICLE 45, SECTION 709 AND APPLIES TO THIS DRAWING:  
"NO ARCHITECTURAL OR ENGINEERING WORK SHALL BE PERFORMED OR  
ALTERED IN ANY MANNER WITHOUT THE SEAL AND SIGNATURE OF AN ENGINEER  
OR ARCHITECT. ANY PERSON WHO VIOLATES THIS SECTION SHALL BE SUBJECT TO  
PENALTIES AS PROVIDED IN SECTION 709(1) OF THE EDUCATION LAW AND THE PENALTY  
SECTION OF THE EDUCATION LAW SHALL APPLY TO THE SEAL AND SIGNATURE OF THE  
ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

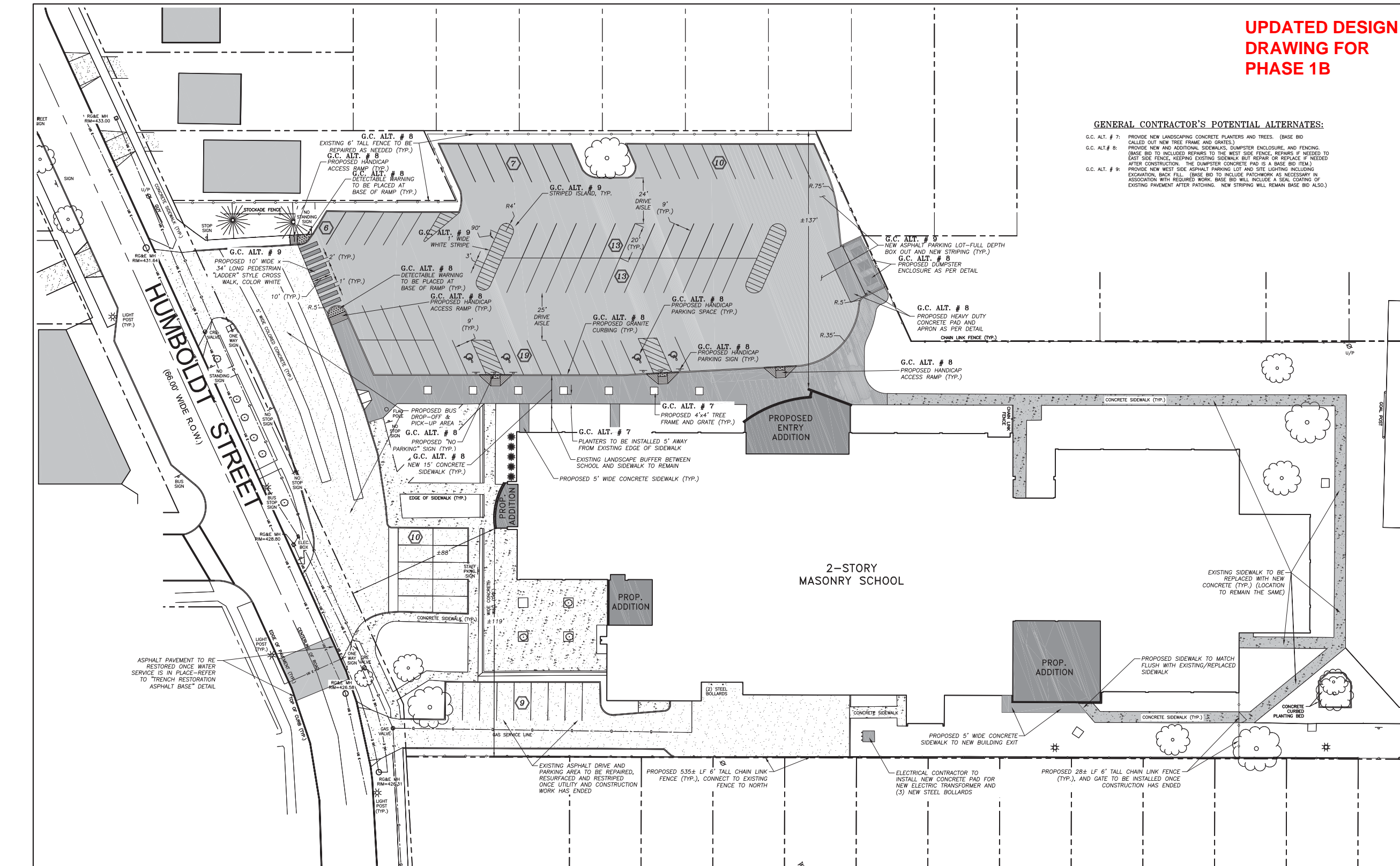




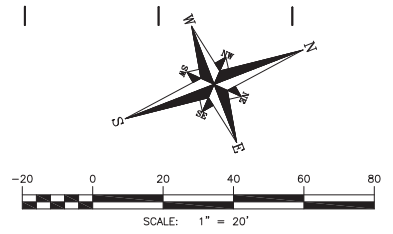
**UPDATED DESIGN  
DRAWING FOR  
PHASE 1B**

**GENERAL CONTRACTOR'S POTENTIAL ALTERNATES:**

- G.C. ALT. # 7: PROVIDE NEW LANDSCAPING CONCRETE PLANTERS AND TREES. (BASE BID CALLED OUT NEW TREE FRAME AND GRATES.)
- G.C. ALT. # 8: PROVIDE NEW AND ADDITIONAL SIDEWALKS, DUMPSTER ENCLOSURE, AND FENCING. (BASE BID TO INCLUDE REPAIRS TO THE WEST SIDE FENCE, REPAIRS IF NEEDED TO EAST SIDE FENCE, KEEPING EXISTING SIDEWALK BUT REPAIR OR REPLACE IF NEEDED AFTER CONSTRUCTION. THE DUMPSTER CONCRETE PAD IS A BASE BID ITEM.)
- G.C. ALT. # 9: PROVIDE NEW WEST SIDE ASPHALT PARKING LOT AND SITE LIGHTING INCLUDING EXCAVATION, BACK FILL. (BASE BID TO INCLUDE PATCHWORK AS NECESSARY IN ASSOCIATION WITH REQUIRED WORK. BASE BID WILL INCLUDE A SEAL COATING OF EXISTING PAVEMENT AFTER PATCHING. NEW STRIPING WILL REMAIN BASE BID ALSO.)



- GENERAL NOTES:**
- COORDINATE ALL THE WORK ON THE SITE WITH OWNER'S REPRESENTATIVE.
  - COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION OF STAGING AREA IF REQUIRED. STAGING AREAS SHALL BE CLEANED AND SURFACES RESTORED TO THE SATISFACTION OF THE CITY SCHOOL DISTRICT AND OWNER'S REPRESENTATIVE FOLLOWING WORK.
  - THE CONTRACTOR SHALL BE PERMITTED TO STORE/STAGE EQUIPMENT AND MATERIALS WITHIN THE PROJECT LIMITS AT THE CONTRACTOR'S OWN RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPMENT OF THE SITE IN A MANNER THAT WILL PERMIT ADEQUATE STAGING.
  - ALL MUDDY CONSTRUCTION EQUIPMENT SHALL BE WASHED WITHIN THE PROJECT LIMITS, PRIOR TO EXITTING ONTO THE ADJOINING PAVEMENTS. THE CONTRACTOR SHALL SUPPLY A HOSE AND THE OWNER WILL PROVIDE THE WATER REQUIRED TO WASH DOWN THE EQUIPMENT. IF THE CONTRACTOR MUDS THE PAVEMENT OUTSIDE OF THE CONSTRUCTION LIMITS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED WATER AND CLEAN THE PAVEMENTS AT THE CONTRACTOR'S EXPENSE.
  - REPAIR OR REPLACE CURBS, SIDEWALKS, DRIVEWAYS AND OTHER ITEMS REMOVED OR DAMAGED BY CONSTRUCTION. ITEMS SHALL MATCH EXISTING CONSTRUCTION AND EXPOSED FINISHES.
  - ALL CONSTRUCTION ACTIVITIES SHALL BE RESTRICTED TO THE CONSTRUCTION LIMITS. ANY AREA OUTSIDE THE CONSTRUCTION LIMITS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.
  - ALL IMPROVEMENTS WITHIN THE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, UNLESS OTHERWISE NOTED.
  - PROVIDE TEMPORARY BARRICADES AS REQUIRED TO DIRECT VEHICLE TRAFFIC AND PEDESTRIANS AWAY FROM WORK AREAS, AND TO ALLOW PEDESTRIAN AND VEHICULAR TRAFFIC.
  - ALL CONES, DRUMS, CONCRETE BARRIERS AND MARKERS ARE TO BE PLACED ON SITE SO AS TO PROVIDE A MINIMUM 2' CLEARANCE TO THE TRAVELED WAY UNLESS OTHERWISE SHOWN ON THE PLANS AND/OR DIRECTED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAKE CERTAIN PLACEMENT OF CONES, DRUMS AND MARKERS OR BARRICADES SHALL NOT INTERFERE WITH SIGHT DISTANCE.
  - SAFE AND CONTINUOUS THROUGH TRAFFIC, INGRESS, AND EGRESS FOR ADJACENT DRIVEWAYS, PARKING SPACES, SERVICE ROADS, AND PUBLIC STREETS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD. THE PROJECT REPRESENTATIVE SHALL BE IMMEDIATELY NOTIFIED OF ANY CONFLICTS OR CONCERNS ASSOCIATED WITH ACCESS TO ANY AREA OUTSIDE OF THE CONSTRUCTION LIMITS.
  - ALL DEBRIS AND SOILS DERIVED FROM THE CONTRACTOR'S OPERATIONS FOUND IN THE PUBLIC RIGHT OF WAY OR CAUSING NUISANCE TO OPERATIONS SHALL BE CLEANED AND REMOVED ON A DAILY BASIS OR WHEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT OF WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
  - SAW CUTTING SHALL BE REQUIRED FOR ALL TRENCH AND EXCAVATION WORK IN PAVEMENT REHABILITATION AREAS. AS WELL AS SIDEWALKS ADJOINING SIDEWALK TO BE REPAIRED. PROJECT WORK LIMITS, DRIVEWAY WORK LIMITS, PARKING LOT WORK LIMITS AND ALONG CURBS TO BE REPLACED IN PAVEMENT REHABILITATION AREAS. SIDEWALKS SHALL BE REPLACED IN 5'x5' FLAGS. AN AFFECTED FLAG SHALL BE REPLACED TO NEAREST CONTROL JOINT.
  - CONTRACTOR IS RESPONSIBLE FOR SECURING WORK AREA TO PROHIBIT PEDESTRIAN TRAFFIC AND LIMITING VEHICULAR ACCESS. CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULING, OPERATIONS AND STAGING REQUIREMENTS WITH AUTHORIZED ROCHESTER CITY SCHOOL DISTRICT.
  - CONTRACTOR TO PROVIDE COPIES OF ALL REQUIRED PERMITS TO OWNER. OWNER RESERVES THE RIGHT TO MAKE PAYMENTS TO CONTRACTOR UNTIL PROOF OF PERMITS IS PROVIDED.
  - CONTRACTOR TO PERFORM SURVEY STAKEOUT OF ALL PLANNED IMPROVEMENTS AND REVIEW WITH OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.



PARKING TABLE	
EXISTING CAR PARKING SPACES	19
PROPOSED CAR PARKING SPACES	68
TOTAL CAR PARKING SPACES	87
TOTAL BUS PARKING SPACES	NO CHANGE

**LABELLA**  
Associates, P.C.  
Engineering  
Architecture  
Environmental  
Planning  
www.labellapc.com  
300 STATE STREET  
ROCHESTER, NY 14614  
P: (585) 454-6110  
F: (585) 454-3066  
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**Gilbane WIN**  
**Razak Associates**  
ARCHITECTURE  
ENGINEERING  
LAND SURVEYING  
INTERIORS  
PLANNING  
LANDSCAPE  
3800 FAIRPORT-NIENH NELLE POINT ROAD, SUITE 410  
ROCHESTER, NY 14621  
PHONE: 585.572.8888 • FAX: 585.572.8890

**Ravi Engineering & Land Surveying, P.C.**  
ARCHITECTURE  
ENGINEERING  
LAND SURVEYING  
INTERIORS  
PLANNING  
LANDSCAPE  
2110 SOUTH CLINTON AVENUE, SUITE 1  
ROCHESTER, NEW YORK 14618  
TEL: (585) 223-3660 FX: (585) 223-4250

**Heather Demoras Design Consultants**  
ARCHITECTURE  
ENGINEERING  
LAND SURVEYING  
INTERIORS  
PLANNING  
LANDSCAPE  
www.hddc.com

**HENRY HUDSON  
SCHOOL NO. 28**  
450 HUMBOLDT STREET  
ROCHESTER NY 14610  
S.E.D. NO. 26-16-00-01-0-028-024  
**ROCHESTER SCHOOLS  
MODERNIZATION  
PROGRAM**

**RSMP**

PROJECT NUMBER: 211245

NO.	DATE	REVISION
1	12.17.10	ISSUED FOR BID

DRAWN BY: SCP  
APPROVED BY: RLF  
ISSUED FOR:  
BID DOCUMENTS  
DATE: OCTOBER 5, 2012

**SITE PLAN**

**C-101**





SWBR PROJECT NUMBER: 10445.00



EDISON EDUCATIONAL CAMPUS

SITE CONTEXT

	Existing Bus Loop	Proposed Bus Loop
Buses	On Site	No Change

	Existing Total Parking Spaces - paved and striped	Proposed Parking Spaces	Total Parking Spaces
Parking	348	0	348



Program Concept Test:  
Edison Educational Campus  
655 Colfax Street  
Model Program: 9-12







**Razak Associates**

ARCHITECTURE  
ENGINEERING  
LAND SURVEYING  
INTERIORS  
PLANNING  
LANDSCAPE

3000 FAIRPORT AVENUE, SUITE 410  
PENFIELD, NY 14520  
PHONE: 585.377.8550 • FAX: 585.377.8550

**Ravi Engineering & Land Surveying, P.C.**

2110 SOUTH CLINTON AVENUE, SUITE 1  
ROCHESTER, NEW YORK 14618  
TEL: (585) 223-3660 FX: (585) 223-4250



HEATHER DEMORAS  
DESIGN CONSULTANTS  
www.hdddesign.com

**EDISON TECHNICAL SCHOOL**

655 COLFAX STREET  
ROCHESTER, NY 14606  
S.E.D. NO. 26-16-00-01-0-00-026  
EPC NO. 26-16-00-01-0-111-029  
DWT NO. 26-16-00-01-7-999-013

**ROCHESTER SCHOOLS  
MODERNIZATION  
PROGRAM**



LABELLA PROJECT NUMBER  
212029

NO.	DATE	REVISION
1	3/9/13	ISSUED FOR BID

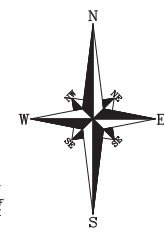
DRAWN BY: SCP  
APPROVED BY: RLF

ISSUED FOR  
100% CONSTRUCTION DOCUMENTS

DATE: FEBRUARY 22, 2013

**SITE PLAN**

**C-101**



**GENERAL NOTES:**

- COORDINATE ALL WORK ON THE SITE WITH OTHER CONTRACT DRAWINGS AND OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION OF STAGING AREA IF REQUIRED OUTSIDE OF CONSTRUCTION/PROJECT LIMITS. STAGING AREAS SHALL BE CLEANED AND SURFACES RESTORED TO THE SATISFACTION OF THE CITY SCHOOL DISTRICT AND OWNER'S REPRESENTATIVE FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR SHALL BE PERMITTED TO STORE/STAGE EQUIPMENT AND MATERIALS WITHIN THE CONSTRUCTION/PROJECT LIMITS AT THE CONTRACTOR'S OWN RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPMENT OF THE SITE IN A FASHION THAT WILL PERMIT AGILATE STAGING.
- ALL MUDDY CONSTRUCTION EQUIPMENT SHALL BE WASHED WITHIN THE PROJECT LIMITS, PRIOR TO EXITING ONTO THE ADJOINING PAVEMENTS. THE CONTRACTOR SHALL SUPPLY A HOSE AND THE OWNER WILL PROVIDE THE WATER REQUIRED TO WASH DOWN THE EQUIPMENT. IF THE CONTRACTOR MUDS THE PAVEMENT OUTSIDE OF THE CONSTRUCTION LIMITS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED WATER AND OTHER MEANS NECESSARY FOR CLEANING THE PAVEMENTS AT THE CONTRACTOR'S EXPENSE.
- REPAIR OR REPLACE CURBS, SIDEWALKS, DRIVEWAYS AND OTHER ITEMS REMOVED OR DAMAGED BY CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. ITEMS SHALL MATCH EXISTING CONSTRUCTION AND EXPOSED FINISHES.
- ALL CONSTRUCTION ACTIVITIES SHALL BE RESTRICTED TO THE CONSTRUCTION/PROJECT LIMITS. ANY AREA OUTSIDE THE CONSTRUCTION/PROJECT LIMITS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.
- ALL IMPROVEMENTS WITHIN THE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE AUTHORITIES, UNLESS OTHERWISE NOTED.
- PROVIDE TEMPORARY MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED TO DIRECT VEHICLE TRAFFIC AND PEDESTRIANS AWAY FROM WORK AREAS AND TO ALLOW PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
- ALL CONES, DRUMS, CONCRETE BARRIERS AND MARKERS ARE TO BE PLACED ON-SITE SO AS TO PROVIDE A MINIMUM 2' CLEARANCE TO THE TRAVELED WAY UNLESS OTHERWISE SHOWN ON THE PLANS AND/OR DIRECTED BY THE OWNER'S REPRESENTATIVE OR REQUIRED BY THE CITY. THE CONTRACTOR SHALL MAKE CERTAIN THAT PLACEMENT OF CONES, DRUMS AND MARKERS OR BARRIAGES SHALL NOT INTERFERE WITH SIGHT DISTANCE.
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- ALL DEBRIS AND SOILS DERIVED FROM THE CONTRACTOR'S OPERATIONS FOUND IN THE PUBLIC RIGHTS OF WAY OR CAUSING NUISANCE TO OPERATIONS SHALL BE CLEANED AND REMOVED ON A DAILY BASIS OR WHEN NOTIFIED BY THE OWNER'S OR CITY'S REPRESENTATIVES.
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- SAW CUTTING SHALL BE REQUIRED FOR ALL TRENCH AND EXCAVATION WORK IN PAVEMENT AREAS, AS WELL AS OTHER EDGES ABUTTING OTHER ITEMS TO REMAIN SUCH AS, PROJECT SIDEWALKS, PAVEMENT WORK LIMITS AND CURBS TO BE REPLACED IN REHABILITATION AREAS. SIDEWALKS SHALL BE REPLACED IN 5'-4" FLAGS. ANY AFFECTED FLAGS SHALL BE CONTROL JOINT.
- CONTRACTOR IS RESPONSIBLE FOR SECURING CONSTRUCTION/PROJECT AREA TO PROHIBIT PEDESTRIAN AND NON-CONSTRUCTION VEHICULAR ACCESS UNLESS OTHERWISE NOTED. CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULING, OPERATIONS AND STAGING REQUIREMENTS WITH AUTHORIZED ROCHESTER CITY SCHOOL DISTRICT.
- CONTRACTOR TO PROVIDE COPIES OF ALL REQUIRED PERMITS TO OWNER. OWNER RESERVES THE RIGHT TO HOLD PAYMENTS TO CONTRACTOR UNTIL PROOF OF PERMITS IS PROVIDED.
- CONTRACTOR TO PERFORM SURVEY STAKEOUT OF ALL PLANNED IMPROVEMENTS AND REVIEW WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

**HATCH LEGEND**

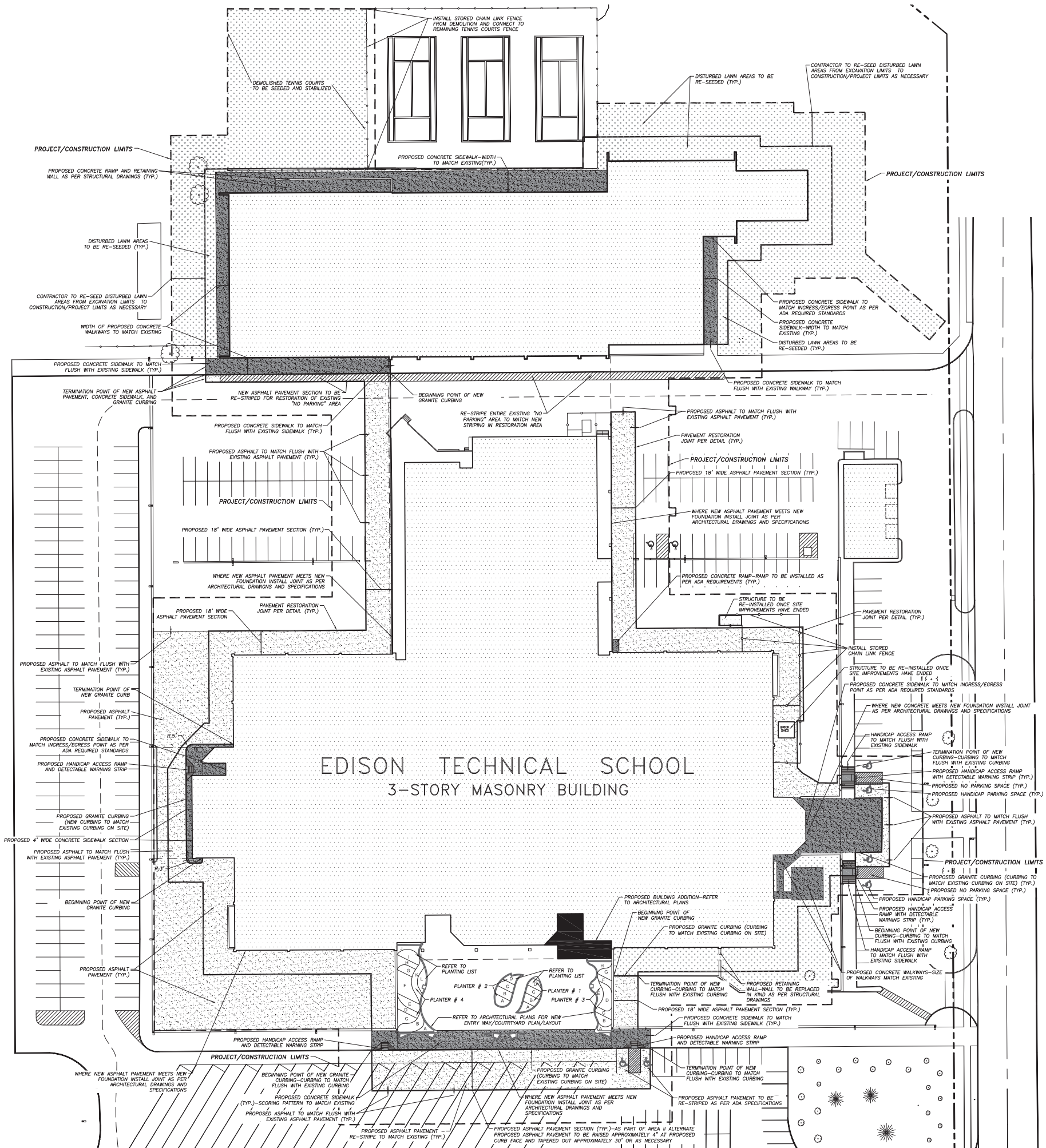
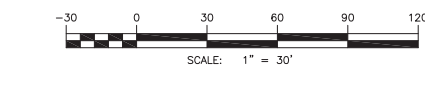
	LAWN RESTORATION AREA
	PROPOSED ASPHALT PAVEMENT/RESTORATION AREA
	PROPOSED CONCRETE PAVEMENT/RESTORATION AREA

**PLANTS - LIST**  
**SUMMER PERENNIALS AND SPRING BULBS**

**SHEET L-(#)**

Plant #	Key	Botanical Name	Common Name	Size or Spacing	Root	Quantity per sq.ft.
<b>SUMMER</b>						
<b>Planter 1</b>						
a		Echinacea purpurea 'Mangos'	Cone flower - Pink	20" C/C	Perennial	67
b		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	75
c		Echinacea purpurea 'Mangos'	Cone flower - Pink	20" C/C	"	69
d		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	51
<b>Planter 2</b>						
a		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	50
b		Echinacea purpurea 'Mangos'	Cone flower - Pink	20" C/C	"	66
c		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	69
d		Echinacea purpurea - 'Mangos'	Cone flower - Pink	20" C/C	"	56
<b>Planter 3</b>						
a		Heuchera 'Obsidian'	Coral bells	12" C/C	"	40
b		Chrysanthemum 'Rose Blush'	Hardy Chrysanthemum - Mauve	20"-24" C/C	"	78
c		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	61
d		Aster x 'Ikarus'	Hardy Aster - Blue	20"-24" C/C	"	143
e		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	101
f		Chrysanthemum 'Rose Blush'	Hardy Chrysanthemum - Mauve	20"-24" C/C	"	55
g		Heuchera 'Obsidian'	Coral bells	12" C/C	"	69
<b>Planter 4</b>						
a		Heuchera 'Venus'	Coral bells	12" C/C	"	49
b		Heuchera 'Obsidian'	Coral bells	12" C/C	"	140
c		Chrysanthemum 'Rose Blush'	Hardy Chrysanthemum - Mauve	20"-24" C/C	"	105
d		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	83
e		Chrysanthemum 'Rose Blush'	Hardy Chrysanthemum - Mauve	20"-24" C/C	"	104
f		Aster x 'Ikarus'	Hardy Aster - Blue	20"-24" C/C	"	224
g		Chrysanthemum 'Rose Blush'	Hardy Chrysanthemum - Mauve	20"-24" C/C	"	69
h		Echinacea purpurea 'White Swan'	Cone flower - White	20" C/C	"	79
i		Chrysanthemum 'Rose Blush'	Hardy Chrysanthemum - Mauve	20"-24" C/C	"	110
j		Heuchera 'Obsidian'	Coral bells	12" C/C	"	69
k		Heuchera 'Obsidian'	Coral bells	12" C/C	"	126
l		Heuchera 'Venus'	Coral bells	12" C/C	"	79
<b>SPRING</b>						
<b>Planter 1</b>						
		Narcissus 'Dutch Master'	Yellow shades	10" C/C	Bulbs	
<b>Planter 2</b>						
		Narcissus 'Dutch Master'	Yellow shades	10" C/C	Bulbs	
<b>Planter 3</b>						
		Narcissus 'Mount Hood'	White with yellow centers	10" C/C	Bulbs	
<b>Planter 4</b>						
		Narcissus 'Mount Hood'	White with yellow centers	10" C/C	Bulbs	

NOTE: All plants to be spaced alternately with the bulbs.







New York State GIS Clearinghouse



EAST HIGH SCHOOL

**SITE CONTEXT**

	Existing Bus Loop	Proposed Bus Loop		Existing Total Parking Spaces - paved and striped	Proposed Parking Spaces	Total Parking Spaces
Buses	On Site	No Change	Parking	0	0	0



Program Concept Test:  
 East High School  
 1801 East Main Street  
 Model Program: 9-12









**Rochester Schools  
Modernization  
Program - Phase 1B**

SED Control Number  
26-16-00-01-0103-031

**East High School #261**  
1801 East Main Street  
Rochester, New York 14609

**CANNON DESIGN**

2170 Whitehaven Road  
Grand Island, New York 14072  
T: 716.773.8800  
F: 716.773.5909

Gibone / Savin  
1778 N. Clinton Avenue  
Rochester, NY 14621  
585-262-8648

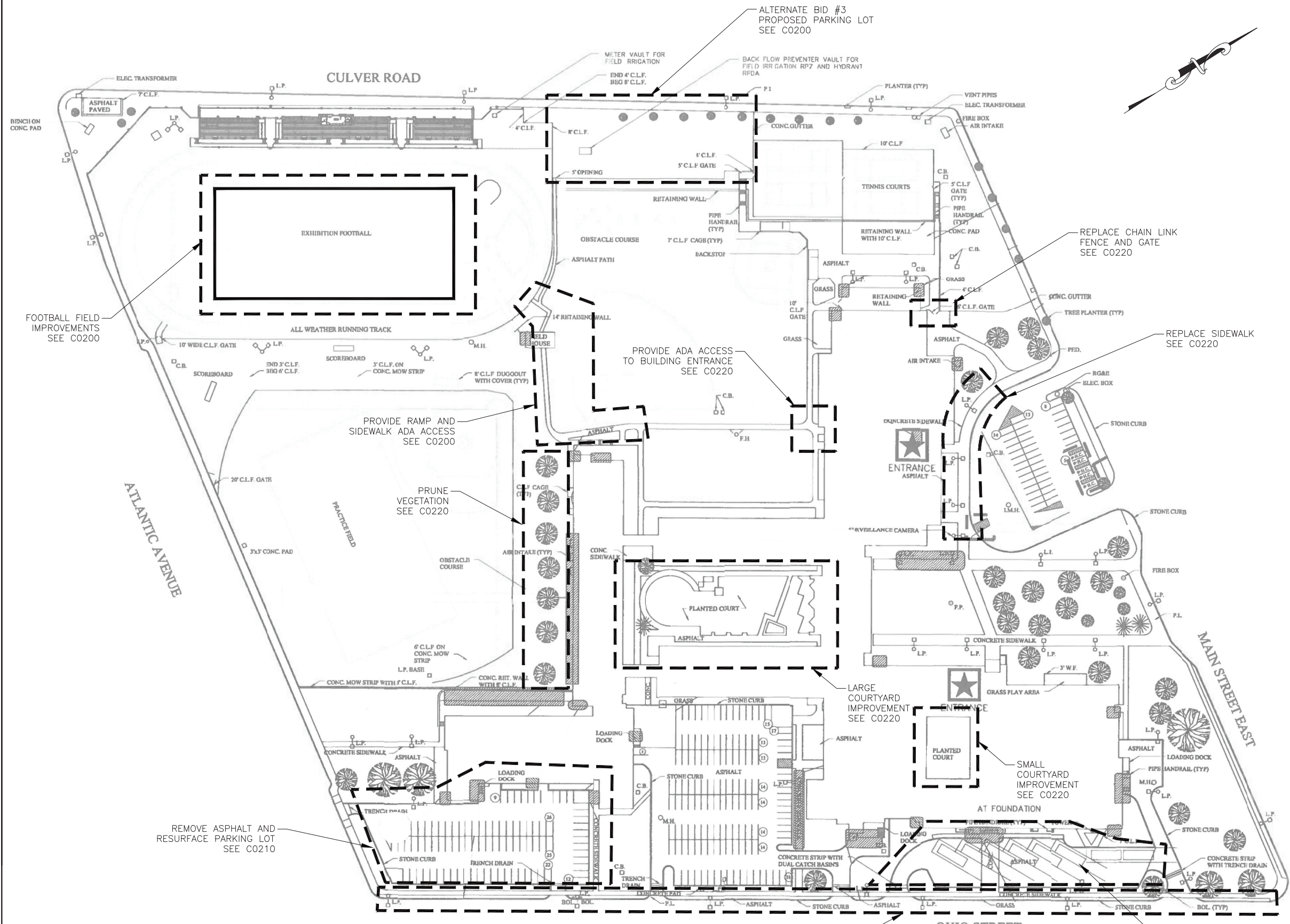
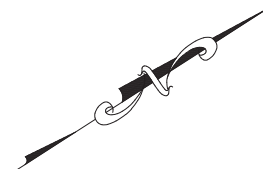
Rasak Associates  
3060 Fairport Nine Mile Plant Road  
Suite 300  
Penfield, NY 14526  
585-388-6710

Architecture  
247 North Goodman Street  
Rochester, NY 14607  
585-442-8550

Singleton Construction Consultants, Inc.  
85 Perry Street  
Suite 101  
Buffalo, NY 14203  
716-842-2197

Watts Engineers  
85 Perry Street  
Suite 300  
Buffalo, NY 14203  
716-836-1540

Fisher Associates  
133 Collins Road  
Suite A  
Rochester, NY 14623  
585-334-1310

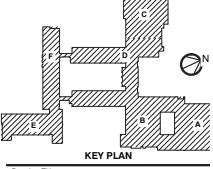


**OVERALL SITE PLAN**

N.T.S.

SED SUBMISSION 2/4/13

No.	Description	Date



KEY PLAN

OVERALL SITE PLAN

Project No.: 060001.00 Checked by: CWR

**C0100**

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED  
DATE 01/15/2013 BY 60322 UCBAW/STP/STP  
EXEMPT FROM AUTOMATIC DOWNGRADING AND  
DECLASSIFICATION UNDER E.O. 13526  
01 January 2020





**Rochester Schools  
Modernization  
Program - Phase 1B**

SED Control Number  
26-16-00-01-0103-031

**East High School #261**  
1801 East Main Street  
Rochester, New York 14609

**CANNODESIGN**

2170 Whitehaven Road  
Grand Island, New York 14202  
T: 716.773.6800  
F: 716.773.5909

Gilbane / Savin  
1776 N. Clinton Avenue  
Rochester, NY 14621  
585-262-8648

Rask Associates  
3060 Fairport Nine Mile Point Road  
Suite 300  
Penfield, NY 14526  
315-338-6710

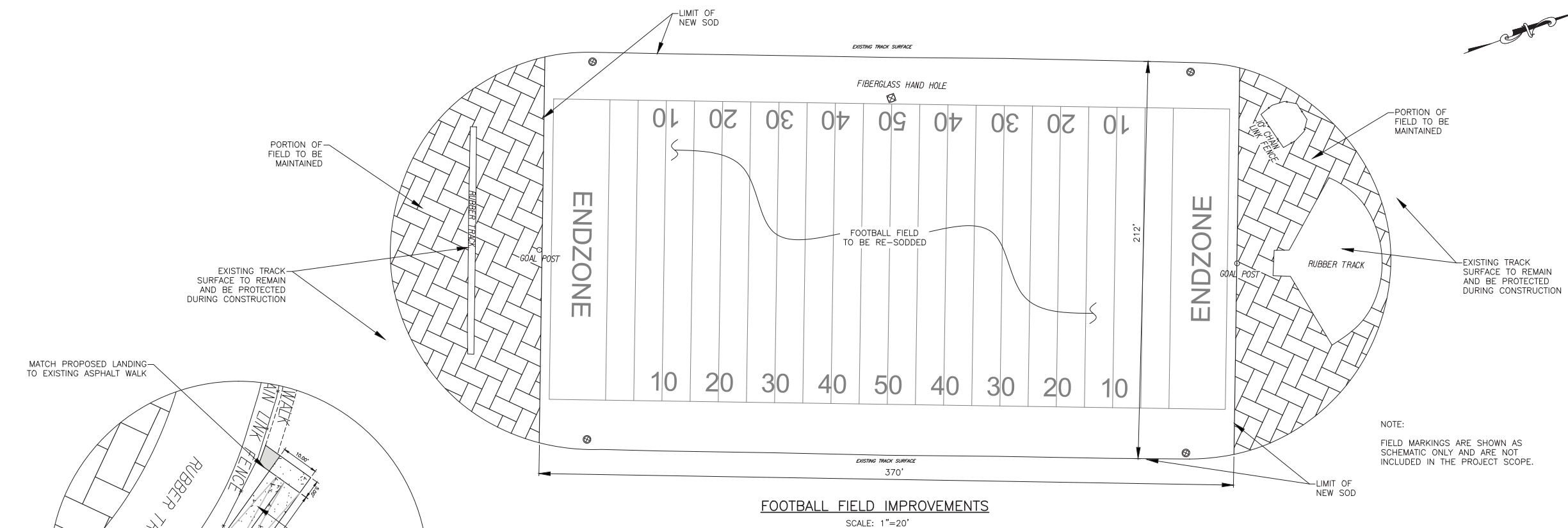
Architecture  
247 North Goodman Street  
Rochester, NY 14607  
585-442-8550

Singleton Construction Consultants, Inc.  
85 Perry Street  
Suite 101  
Buffalo, NY 14203  
716-842-2197

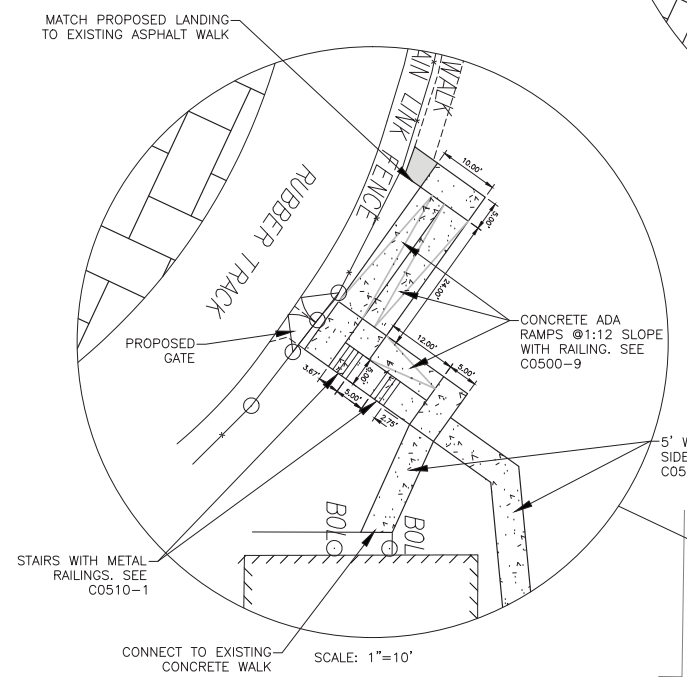
Watts Engineers  
85 Perry Street  
Suite 300  
Buffalo, NY 14203  
716-836-1540

Fisher Associates  
133 Collins Road  
Suite A  
Rochester, NY 14623  
585-334-1310

NOTE:  
FIELD MARKINGS ARE SHOWN AS  
SCHEMATIC ONLY AND ARE NOT  
INCLUDED IN THE PROJECT SCOPE.

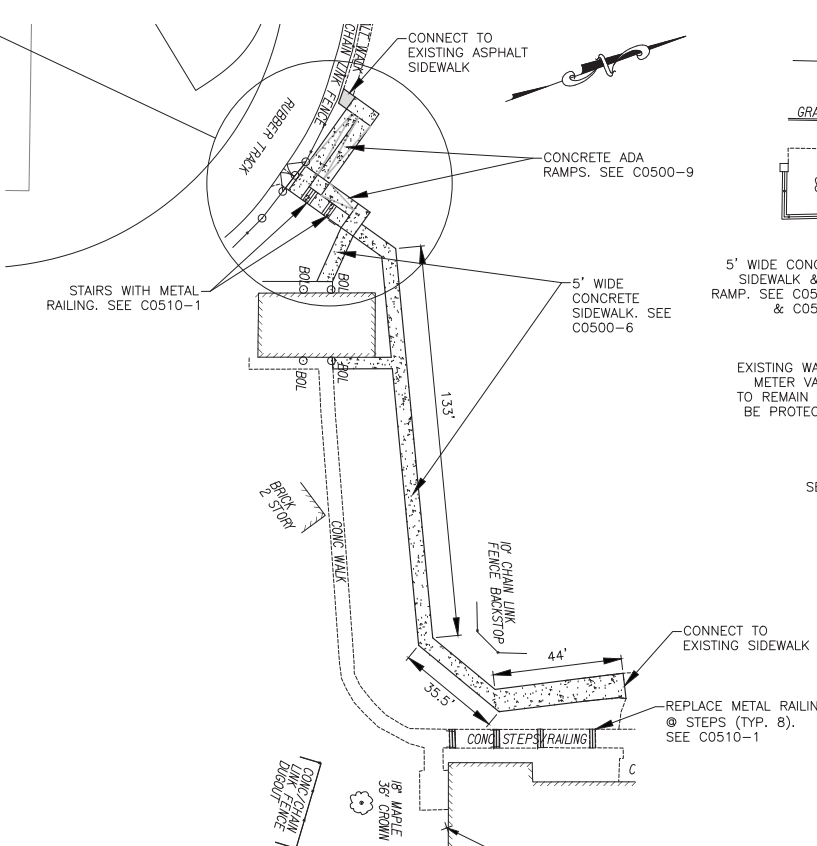


**FOOTBALL FIELD IMPROVEMENTS**  
SCALE: 1"=20'

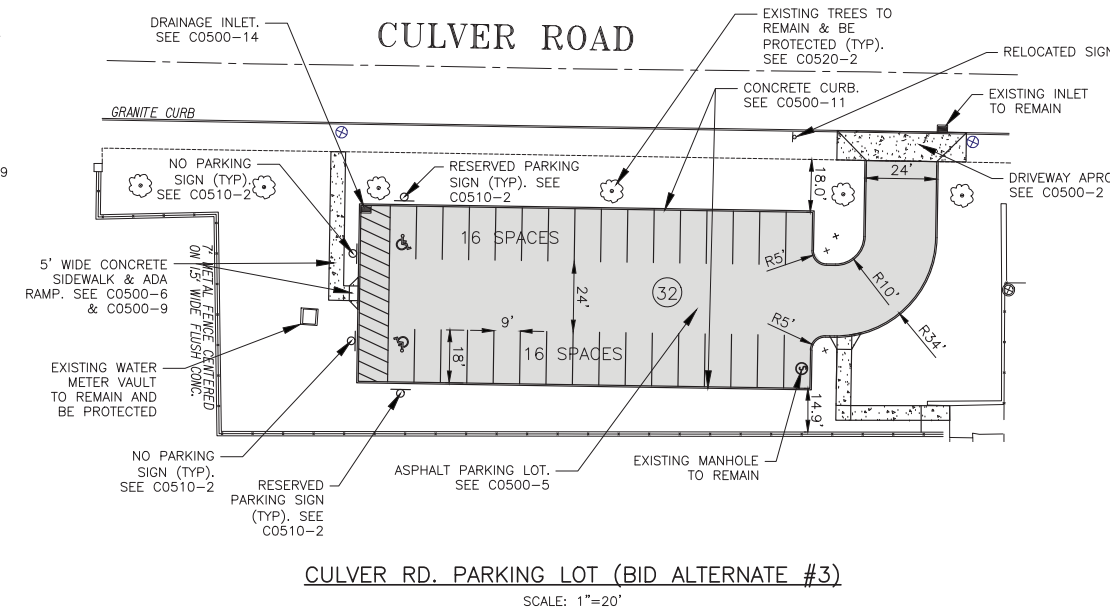


**SITE NOTES:**

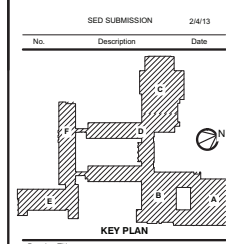
- CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH ROCHESTER CITY SCHOOL DISTRICT AND NEW YORK STATE EDUCATION DEPARTMENT STANDARDS AND SPECIFICATIONS WITHIN THE PROJECT LIMITS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE RESTRICTED TO THE CONSTRUCTION LIMITS. ANY AREA OUTSIDE THE CONSTRUCTION LIMITS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.
- SAFE AND CONTINUOUS THROUGH TRAFFIC, INGRESS, AND EGRESS FOR ADJACENT DRIVEWAYS, PARKING SPACES AND SERVICE ROADS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGH THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" AT 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION. ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED FROM DAMAGE UNLESS OTHERWISE SPECIFIED FOR ALTERATION AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL BE PERMITTED TO STORE/STAGE EQUIPMENT AND MATERIALS WITHIN THE PROJECT LIMITS AT THE CONTRACTOR'S OWN RISK AND AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPMENT OF THE SITE IN A FASHION THAT WILL PERMIT ADEQUATE STAGING.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL PROPERTY, EASEMENT AND R.O.W. BOUNDARIES.
- ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ALL OSHA, FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY SURVEY DATA AS DEPICTED ON THE PLANS. ANY DISCREPANCIES OR OTHER ITEMS IN CONFLICT SHALL BE NOTED AND ADJUSTED WITH THE RESIDENT ENGINEER'S PERMISSION IN CONSULTATION WITH THE PROJECT SURVEYOR.
- REFER TO PLANS TITLED "ROCHESTER CITY SCHOOL DISTRICT, EAST HIGH SCHOOL, CAPITAL IMPROVEMENT PROJECT 2012", SED# 26-16-00-01-0-103-033, BY HUNT ENGINEERS, DATED JANUARY 3, 2012 FOR SITE FEATURES SHALL BE DEMOLISHED & REPLACED BY OTHERS.



**FOOTBALL FIELD ADA ACCESS**  
SCALE: 1"=20'



**CULVER RD. PARKING LOT (BID ALTERNATE #3)**  
SCALE: 1"=20'



**SITE PLAN-1**

Project No.: 060001.00 Checked by: CWR

**C0200**

ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.  
DATE: 01/15/2013

